

**REGULAR AGENDA
CITY OF FERNDALE - HUMBOLDT COUNTY U.S.A.
DESIGN REVIEW COMMITTEE MEETING**

Location VIA ZOOM CONFERENCE

Date: September 23, 2021
Time: 8:30 am

This meeting is being held in accordance with the Brown Act as currently in effect under the State Emergency Services Act, the Governor's Emergency Declaration related to COVID-19, and the Governor's Executive Order N-29-20 issued on March 17, 2020 that allows attendance by members of the Committees, City staff, and the public by teleconference, videoconference, or both.

We are strongly recommending that public comments for this meeting be submitted prior to the meeting. Public comments should be submitted to cityclerk@ci.ferndale.ca.us by 4:00pm on Wednesday, September 22, 2021, please be sure to put "Public Comment" in the subject line, and include the agenda item if applicable. All public comments received by 4pm will be read into the record (limit to 5 minutes) during the regular meeting.

To provide public comment during the meeting, you will need to join the Teleconference meeting.

To Join Zoom Meeting use the link:

<https://us02web.zoom.us/j/84773295954?pwd=ZjF4ZEhuTkMxQ2pxNkVaRGx1eWlnZz09>

or go to Zoom.us and input the following:

Meeting ID: 847 7329 5954

Passcode: 817472

Dial in using your telephone: (Use *6 to mute and unmute)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

Meeting ID: 847 7329 5954

Passcode: 817472

1. CALL MEETING TO ORDER – CITY CLERK WILL DO ROLL CALL
2. MODIFICATIONS TO THE AGENDA
3. APPROVAL OF PREVIOUS MINUTES - NONE
4. PUBLIC COMMENT. (This time is for persons who wish to address the Committee on any matter not on this agenda and over which the Committee has jurisdiction).
5. BUSINESS
 - A. 394 Main Street (Install ATM) Page 3
 - B. 620 Main Street (Reroof)..... Page 26
 - C. 857 Main Street (Repaint Residence, Install Shutters, Redo Front Stairs)..... Page 31
 - D. Discuss Proposed Checklist Page 37
6. CORRESPONDENCE None
7. COMMITTEE MEMBER COMMENTS
8. ADJOURN

**This notice is posted in compliance with Government Code §54954.2.
The next Regular Meeting of the Ferndale City Design Review Committee
will be AS NEEDED DURING COVID-19 PANDEMIC**

CALL TO ORDER

MODIFICATIONS TO THE AGENDA

APPROVAL OF MINUTES

PUBLIC COMMENT

BUSINESS

Meeting Date:	September 23, 2021		Agenda Item Number		5.a	
Agenda Item Title	394 Main Street					
Presented By:	Jim Ferry and/or Staff					
Type of Item:	x	Action		Discussion		Information
Action Required:		No Action	x	Voice Vote		Roll Call Vote

PROJECT DESCRIPTION: Request for a Design Review Use Permit to install a full-service ATM in the north wall, northwest corner at 394 Main Street (APN 031-092-001).

ENVIRONMENTAL REVIEW: This project has been reviewed for compliance with the California Environmental Quality Act (CEQA). The proposed project qualifies for a CEQA Class 1, Section 15301 Categorical Exemption from preparation of environmental documents. This exemption consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures involving negligible or no expansion of use. Although the building is in the Historic District, Section 15300.2(f) Exceptions does not apply, as the project will not cause a substantial adverse change in the significance of a historical resource.

STAFF RECOMMENDATION: Staff has included findings of fact (Attachment A) necessary to take an action on the Design Review Use Permit. If the Design Review Committee accepts the findings of fact or makes comparable findings, then staff recommends the Committee approve the Design Review Use Permit, subject to the conditions of approval listed in Attachment B.

Recommended Motion: "Make the required findings of fact listed in Attachment A to approve the Design Review Use Permit, subject to the conditions of approval listed in Attachment B, install a full-service ATM in the northwest corner of the building using the approved application specifications."

PROJECT SUMMARY: The applicant proposes to place a full-service ATM in the northwest corner of the building. The ATM would require a 32 x 40 wall penetration.

ATTACHMENTS: Findings of Fact, Conditions of Approval, site phot rendition, and ATM specifications.

Attachment A
FINDINGS OF FACT

The following findings of fact are required for approving the Design Review Use Permit.

1. Because the Design Review Use Permit for the project is a discretionary action of the City, this project is subject to environmental review in accordance with the California Environmental Quality Act (CEQA), and qualifies for a CEQA Class 1, Section 15301 Categorical Exemption from preparation of environmental documents. This exemption consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures involving negligible or no expansion of use.
2. The proposed design, materials, and colors are visually harmonious with and conceptually consistent in character and scale with surrounding area.
3. The existing project, as outlined and with conditions:
 - Conforms to and is consistent with the Ferndale General Plan;
 - Does not impair the natural beauty of the town's site and setting; and
 - Will not be unsightly, obnoxious or undesirable in appearance to the extent that it will hinder the harmonious development of the zone, impair the desirability of the zone for the uses permitted therein, or limit the opportunity to attain optimum use and value of the land and improvements or otherwise adversely affect the general property and welfare.

Attachment B
CONDITIONS OF APPROVAL

Staff recommends Design Review Use Permit approval be subject to the following conditions. The violation of any term or requirement of this conditional approval may result in the revocation of the permit.

1. The applicant shall be responsible to pay all applicable fees, deposits or charges associated with processing and finalizing the Design Review Use Permit, and/or otherwise owed to the City of Ferndale. All applicable or other required fees shall be paid to the satisfaction of the City of Ferndale before the Permit and uses allowed are considered final and approved.
2. All proposed work shall be in conformance with the approved permit application and with the information and analysis contained in the associated staff report and conditions of approval on file with the City. Should the work deviate from that as allowed by this approval, then the applicant may be required to first receive Design Review Committee approval for such changes.
3. Should the applicant or any other future owner of the subject property not conform to the requirements of these conditions, then said non-conformance shall constitute a violation of this Design Review Use Permit and shall become null and void until either all the issues have been addressed to the satisfaction of the City, or the permit is revoked.
4. All proposed and/or future development, improvements, and construction authorized hereunder shall be in conformance with all applicable City ordinances, regulations and codes, including but not limited to Zoning Ordinance 02-02, including the Design Review requirements, the Uniform Building Code, any Fire Codes and/or Public Health & Safety Code, applicable to the nature and type of proposed use and/or construction. A City building permit is required for any construction associated with the proposed project with the burden on the applicant to comply.

CITY OF FERNDALE
PLANNING DEPARTMENT

STANDARD APPLICATION FORM

Please provide the following information as it applies to your application. For questions, call 786-4224.

1. Type of Application

Date: 9/8/21

☐	Bed & Breakfast Inn
☐	Design Review Use Permit ☒
☐	Exception to Development Standards
☐	Home Occupation Permit
☐	Lot Line Adjustment
☐	Merger

☐	Major Subdivision (5 parcels or more)
☐	Minor Subdivision (4 parcels or less)
☐	Second Dwelling Unit
☐	Use Permit
☐	Variance
☐	Zoning & General Plan Amendment

2. Name of Property Owner: GUY FIERI
Address: 9048 Brooks rd S #330, Windsor, CA
3. Name of Applicant (if different): Jim Ferry
Address: 2041 Marsh Rd, Santa Rosa Phone: 707 328 9600
4. Property Location: 394 Main St.
Assessor Parcel Number(s): 031092001000
Description: Previous Ferndale Bank
Lot Area: 1800 SF
5. Present Use of Property: Vacant
Present Zoning: Commercial
6. Description of Proposed Project: Install full service ATM machine in north wall, northwest corner, cut sheets attached, installation requires 32x40 wall penetration

Filing Fee: A filing fee of \$ N/A has been paid as part of the application. (Refer to Resolution 00-21 for fees and charges for review and processing of development permits.) I hereby certify that to the best of my knowledge the information in this application and all attached exhibits is full, complete and correct, and I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for denying the application, or suspending or revoking a permit issued on the basis of these or subsequent representations, or for the seeking of such other and further relief as may seem proper to the City.

Signature of Applicant or Agent [Signature]

Date 9/8/21

Authorization of Agent: I hereby authorize Jim Ferry to act as my representative and bind me in all matters concerning this application. (Form 121106)

FOR STAFF USE ONLY					
☐	☐	☐	☐	☐	☐
Full Ap Rec'd	Sent to Comm.	Returned	Ap notified	Project Final	

Dear. Committee members

,
My name is Jim Ferry, I am the father of Guy Fieri. We have been in business in Ferndale for 50 years and are happy that our son shares our interest in Ferndale and has purchased the Ferndale Meat Co. building and the Ferndale Bank Bldg.

Guy is very nostalgic about Ferndale. His first job was at the Ferndale Meat Co. and his first bank account was at the BofA on Main Street. Guy's interest in those buildings are to have them remain as a meat market and a bank.

With banks moving away from "brick and mortar" facilities we have not been able to attract another bank into the Ferndale Bank Building. We have been working with US Bank on putting a full service ATM machine at the Bank building. We tried to have the previous bank leave their ATM in service, but it was not comparable with their current marketing plans. We are hoping that if the US Bank needs to use an iconic bank building in their marketing they will consider the Ferndale Bank Building

Please consider our application to install a US Bank, full service , handicap accessible machine on the Northwest corner of the bank building at your meeting on the Sept.23. US Bank would like to fund this installation within this budget year. All work will be done by licensed contractors under contract with equipment provider Diebold Nixdorf.

I am available to answer any question by phone or email: Phone 707 328 9606 or email at Justjimferry@gmail.com. I will be in Ferndale from Sept 13 thru the 17 if you need access to the bank building.

Respectfully, Jim Ferry

385 Main St
Fresno, California



Street View

September 23, 2021

DESIGN REVIEW MEETING

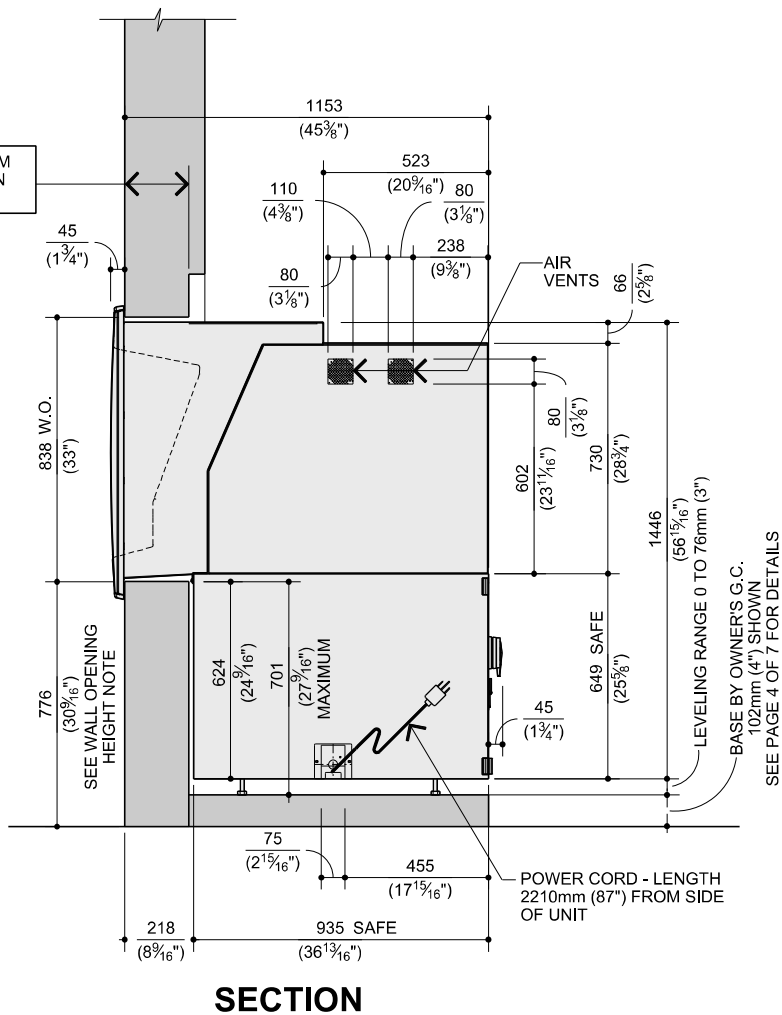
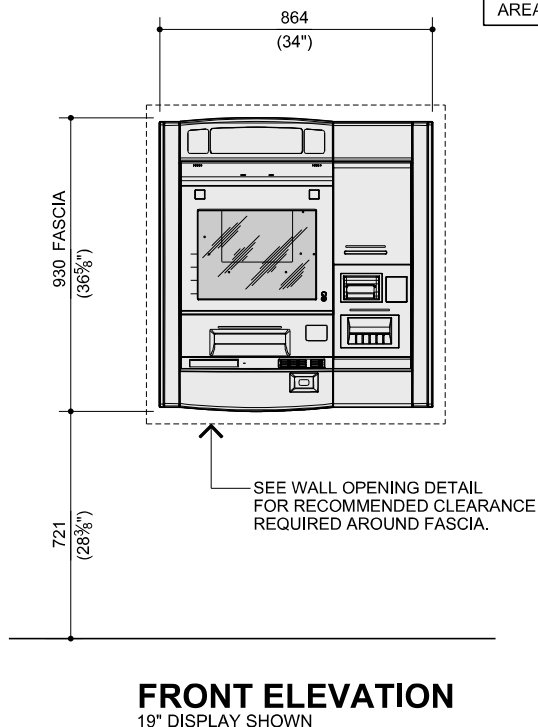
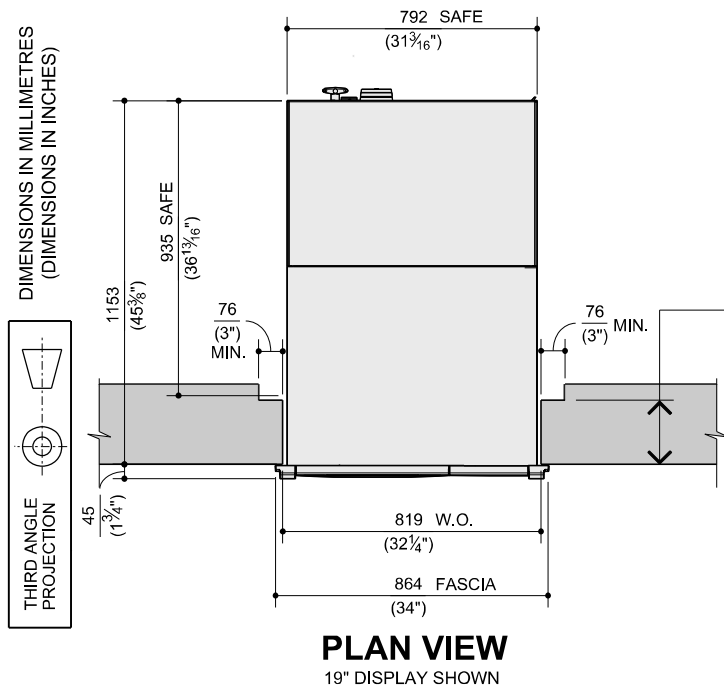
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**CONSULT WITH DIEBOLD NIXDORF INSTALLATION/SERVICE
BRANCH FOR ADDITIONAL DETAILS AND INFORMATION.
PLEASE SEE PLANNING AND SITE PREPARATION GUIDE
TP-821806-001.**

**FOR INSTALLATION THROUGH
330mm (13") MAXIMUM WALL PLEASE
SEE CUT SHEET FILE NUMBER 177-654**

NOTE:
FOR CONSUMER ACCESS DIMENSIONS AND
FRONT ELEVATION OF 15" AND 19" DISPLAYS
SEE PAGE 2 OF 7



WALL OPENING HEIGHT NOTE

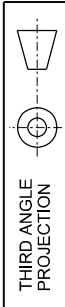
VERIFY INSIDE FLOOR AND EXTERIOR LEVEL HEIGHTS PRIOR TO CONSTRUCTING WALL OPENING. IF INSIDE FLOOR LEVEL IS MORE THAN 152mm (6") HIGHER THAN EXTERIOR LEVEL, DIMENSION FOR WALL OPENING HEIGHT MUST BE ADJUSTED ACCORDINGLY AND REQUIRED OPERATING HEIGHTS MAY NOT BE MET FOR ACCESSIBILITY STANDARDS (ADA, CSA, CAE, CEN, ETC.). CALCULATE THE CONSUMER ACCESS DIMENSIONS ON PAGE 2 OF 7 FROM SAFE BOTTOM.

CONSUMER ACCESS DIMENSIONS

	HEIGHT	DEPTH
A TOP OF CONSUMER DISPLAY (19" DISPLAY)	1205mm (47 7/16")	257mm (10 1/8")
B TOP FUNCTION KEY (19" DISPLAY)	1067mm (42")	207mm (8 1/8")
C BOTTOM OF CONSUMER DISPLAY	923mm (36 3/8")	155mm (6 1/8")
D ActivCash	782mm (30 13/16")	134mm (5 5/16")
E ActivView	707mm (27 3/4")	131mm (5 1/8")
F EPP KEY	713mm (28 1/16")	46mm (1 3/16")
G RECEIPT PRINTER	1067mm (42")	134mm (5 5/16")
H CARD READER / ActivEdge	943mm (37 1/8")	134mm (5 5/16")
I CONTACTLESS CARD READER	943mm (37 1/8")	134mm (5 5/16")
J HEADPHONE JACK	925mm (36 1/16")	152mm (6")
K ActivMedia	816mm (32 1/8")	191mm (7 1/2")
L COIN	792mm (31 3/16")	134mm (5 5/16")
M 2D BARCODE SCANNER	665mm (26 1/8")	0
N TOP OF CONSUMER DISPLAY (15" DISPLAY)	1137mm (44 3/4")	232mm (9 1/8")
O TOP FUNCTION KEY (15" DISPLAY)	1033mm (40 11/16")	189mm (7 3/8")

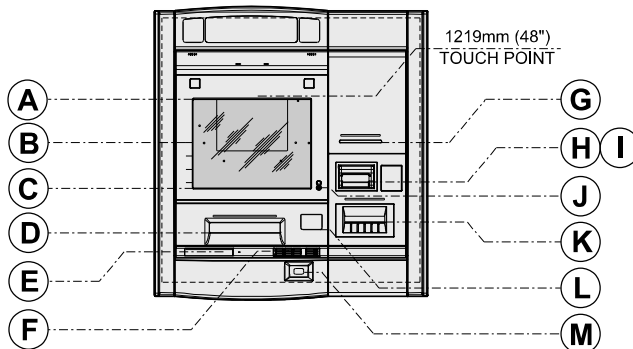
HEIGHT - FROM BOTTOM OF SAFE
DEPTH - FROM FRONT EDGE OF BEZEL

DIMENSIONS IN MILLIMETRES
(DIMENSIONS IN INCHES)

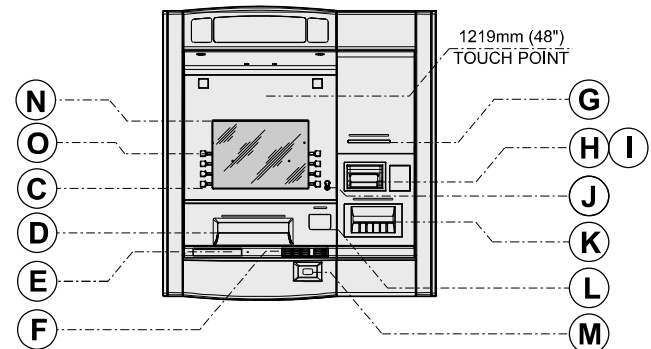


PAGE 2 OF 7

*ALL DIMENSIONS AND DESIGN CRITERIA
SUBJECT TO CHANGE WITHOUT NOTICE*



**FRONT ELEVATION
19" DISPLAY**



**FRONT ELEVATION
15" DISPLAY**



CONDUIT AND JUNCTION BOX REQUIREMENTS

September 23, 2021

DESIGN REVIEW MEETING

POWER REQUIREMENTS:

THE TERMINAL REQUIRES A SINGLE-PHASE, THREE-WIRE UNSWITCHED 110 POWER RECEPTACLE. WIRING TO THE RECEPTACLE MUST INCLUDE A THIRD-WIRE EARTH GROUND (CONDUIT GROUND IS NOT ACCEPTABLE). THE TERMINAL WILL PROVIDE A POWER CORD WITH A COUNTRY SPECIFIC POWER PLUG. THE POWER SUPPLIED MUST BE AS SPECIFIED BELOW.

CHOOSE AND SUPPLY THE PROPER POWER FOR THE SITE:

- ☐ 100-127 VAC (+6%, -10%) AT 50 (±1%) Hz, SINGLE-PHASE
- ☐ 100-127 VAC (+6%, -10%) AT 60 (±1%) Hz, SINGLE-PHASE
- ☐ 200-240 VAC (±10%) AT 50 (±1%) Hz, SINGLE-PHASE
- ☐ 200-240 VAC (±10%) AT 60 (±1%) Hz, SINGLE-PHASE

POWER TO THE TERMINAL IS TO BE A DEDICATED SERVICE AND MUST BE PROTECTED BY A SAFETY QUICK-DISCONNECT DEVICE TO BREAK LINE VOLTAGE (SUCH AS A CIRCUIT BREAKER AT THE ELECTRICAL SERVICE PANEL. THE QUICK-DISCONNECT DEVICE (OR CIRCUIT BREAKER) MUST TURN OFF THE LINE VOLTAGE AT THE FOLLOWING AMPERAGE.

- 100-127 VAC (+6%, -10%) SERVICE, DISCONNECT AT 20 AMPERES
- 200-240 VAC (±10%) SERVICE, DISCONNECT AT 10 AMPERES

THE MODULE BULK POWER SUPPLY AND PROCESSOR POWER SUPPLY WILL PROVIDE POWER CONDITIONING TO PREVENT THE TERMINAL FROM MALFUNCTIONING DUE TO SHORT-TERM AC POWER FLUCTUATIONS AS OUTLINED IN EN61000-4-11.

POWER USAGE:

MACHINE STATUS	Ⓐ
IDLE (NO TRANSACTION) (NO HEATER)	225 WATTS
IDLE (NO TRANSACTION) (WITH HEATER)	775 WATTS
CASH DEPOSIT	295 WATTS
CASH DISPENSE	265 WATTS

TERMINAL CONFIGURATION:

- Ⓐ ActivCore HIGH END, 19" SVD, ActivDispense, ActivMedia, ActivEdge CARD READER, 80mm RECEIPT PRINTER, BATTERY PACK, REAR DISPLAY, JOURNAL PRINTER, CONTACTLESS CARD READER, LOWER CONTROL CARD, 7" DISPLAY, AND TASK LIGHTS.

THE POWER USE DEPENDS ON THE NUMBER AND TYPE OF DEVICES PRESENT IN THE TERMINAL, AND THE TYPE OF TRANSACTION THE TERMINAL IS PERFORMING.

VALUES ABOVE ARE BASED ON MEASURED AVERAGES FOR THE CONFIGURATION LISTED.

HEAT OUTPUT CONFIGURATION:

- Ⓐ 768 - BTU/HR - IDLE (NO HEATER)
2643 - BTU/HR - IDLE (WITH HEATER)
1006 - BTU/HR - CASH DEPOSIT
904 - BTU/HR - CASH DISPENSE

THE HEAT OUTPUT VALUES ABOVE ARE BASED ON MEASURED AVERAGES FOR THE CONFIGURATION LISTED.

OPERATING ENVIRONMENT:

SAFETY LOCATION — OPERATING TEMPERATURE RANGE (INSIDE AT OUTSIDE WALLS OF UPPER CABINET AND SAFE) OF 0° C TO 50° C (32° F TO 122° F) WITH A SOLID STATE DRIVE (SSD) EQUIPPED PROCESSOR. IF A HARD DISK DRIVE (HDD) IS USED, THE MAXIMUM OPERATING TEMPERATURE IS REDUCED TO 40° C (104° F) - MAXIMUM RATE OF CHANGE 10° C (18° F) PER HOUR

RELATIVE HUMIDITY (NON-CONDENSING) 20 TO 80% AT 32° C (90° F), 20 TO 55% AT 40° C (104° F) MAXIMUM RATE OF CHANGE 10% PER HOUR

OUTSIDE AT FASCIA — OPERATING TEMPERATURE RANGE OF -34° C TO 54° C (-30° F TO 129° F)

WEIGHT OF UNIT:

787 kg (1,734 LBS.)

ACTUAL WEIGHT OF THE TERMINAL WILL DEPEND ON THE CONFIGURATION OF THE TERMINAL COMPONENTS AND OPTIONS

25mm (1") METAL CONDUIT FROM ALARM CONTROL CABINET JUNCTION BOX TO 102mm (4") SQ. X 54mm (2½") DEEP JUNCTION BOX (ALL BY OWNER'S E.C.(ELECTRICAL CONTRACTOR)).

Ⓐ OWNER'S E.C. TO RUN 19mm (¾") LIQUID TIGHT FLEX METAL CONDUIT OR 19mm (¾") RIGID CONDUIT FROM JUNCTION BOX TO CABLE CONNECTION PLATE.

Ⓐ 19mm (¾") METAL CONDUIT AND UNSWITCHED ELECTRICAL SUPPLY TO 102mm (4") SQ. X 54mm (2½") DEEP JUNCTION BOX WITH RECEPTACLE WITHIN 2210mm (87") OF SIDE CONNECTING PLATE. (ALL BY OWNER'S E.C.) (SEE POWER REQUIREMENTS).

Ⓐ OWNER'S E.C. TO SUPPLY COMPATIBLE RECEPTACLE FOR COUNTRY SPECIFIC PLUG-IN CONNECTOR SUPPLIED WITH UNIT. POWER CORD LENGTH 2210mm (87") FROM SIDE OF UNIT.

NOTE:

JUNCTION BOXES MUST BE LOCATED WITHIN 2210mm (87") OF CONNECTING PLATE. (LENGTH OF ELECTRICAL POWER CABLE PROVIDED WITH UNIT). LOCATE IN AN EASILY ACCESSIBLE AREA.

BOXES CAN BE FLUSH MOUNTED WITH CONCEALED CONDUIT FOR NEW CONSTRUCTION OR BOXES CAN BE SURFACE MOUNTED WITH EXPOSED CONDUIT FOR EXISTING CONSTRUCTION.

PHYSICAL SECURITY

UL RATED ATM SAFES MEET THE ATTACK TEST REQUIREMENTS DEFINED IN UL 291-15. THE SAFE DOOR FEATURES A POSITIVE RELOCKING DEVICE. ACCESS TO THE SAFE DOOR IS MANAGED BY AN INSTALLED MECHANICAL OR ELECTRONIC COMBINATION LOCK OR LOCKS THAT ARE UL CERTIFIED, VDS CERTIFIED CLASS 1 OR CLASS 2, AND/OR EN-1300 CERTIFIED CLASS A OR CLASS B DEPENDING ON THE SYSTEM CONFIGURATION. CONSULT THE SYSTEM OPERATING GUIDE FOR FURTHER INFORMATION.

BUILDING AIR PRESSURE

BUILDING AIR PRESSURE DIFFERENCES AT THE TERMINAL INSTALLATION LOCATION AFFECT THE INFILTRATION OF OUTSIDE AIR AND ACCOMPANY DIRT. THE TERMINAL WILL OPERATE THROUGH ITS FULL RANGE OF FASCIA TEMPERATURES -34° C TO 54° C (-29° F TO 129° F) WITH ZERO (STATIC) OR POSITIVE AIR PRESSURE DIFFERENTIAL (MEASURED FROM THE INSIDE TO THE OUTSIDE OF THE BUILDING AT THE TERMINAL INSTALLATION LOCATION). IF STATIC OR POSITIVE AIR PRESSURE CANNOT BE MAINTAINED, THE FASCIA LOWER LIMIT TEMPERATURE IS -20° C (-4° F). THE MAXIMUM NEGATIVE AIR PRESSURE ALLOWED IS 0.05" H₂O.

ALARM PROTECTION

UL RATED SAFES ARE EQUIPPED WITH A SAFE DOOR SWITCH BY DEFAULT. ADDITIONAL ALARM AND SENSOR PACKAGES ARE AVAILABLE TO MONITOR FOR VARIOUS ATTACK VECTORS. CONSULT THE SYSTEM OPERATING GUIDE FOR FURTHER INFORMATION.

SIGNAL CABLE RUN CONSTRAINTS

THE FOLLOWING CHART ITEMIZES THE PHYSICAL SPACING REQUIREMENTS OF THE SIGNAL CABLE RUN WITH RESPECT TO OTHER POWER AND ELECTRICAL EQUIPMENT CABLE RUN.

TYPE OF ELECTRICAL RUN	SEPARATION FROM OTHER CABLES		
	BELOW 2 KVA	2-5 KVA	ABOVE 5 KVA
FLUORESCENT, NEON OR INCANDESCENT LIGHTING FIXTURES	127mm (5")	127mm (5")	127mm (5")
UNSHIELDED POWER LINE OR ELECTRICAL EQUIPMENT	127mm (5")	305mm (1'-0")	610mm (2'-0")
UNSHIELDED POWER LINES OR ELECTRICAL EQUIPMENT WITH SIGNAL CABLES ENCLOSED IN GROUNDED CONDUIT	64mm (2½")	152mm (6")	305mm (1'-0")
POWER LINES IN GROUNDED CONDUIT WITH SIGNAL CABLES IN GROUNDED CONDUIT	30mm (1¾")	76mm (3")	152mm (6")

SIGNAL CABLE INSTALLATION CONSTRAINTS:

RELATIVE CARE IS REQUIRED WHEN INSTALLING SIGNAL CABLES IN CONDUITS, UNLIKE POWER AND LIGHTING CABLE. SIGNAL CABLES HAVE CONDUCTORS AND LIGHT INSULATION AND WILL NOT WITHSTAND AS MUCH STRAIN IN INSTALLATION.

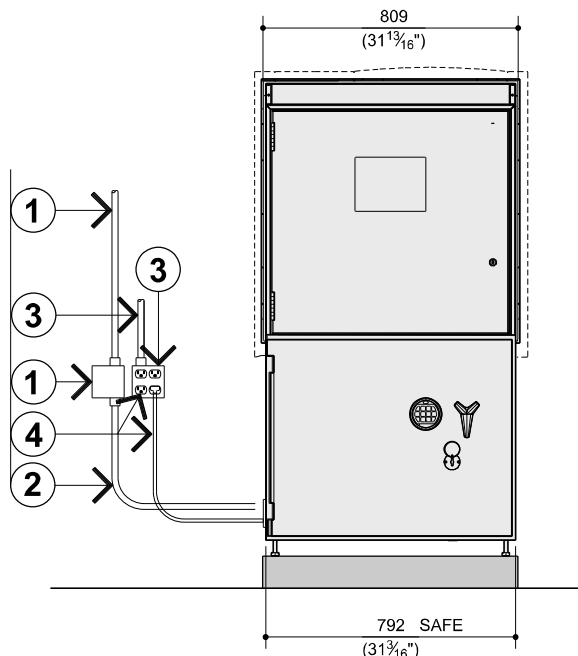
DIMENSIONS IN MILLIMETRES
(DIMENSIONS IN INCHES)



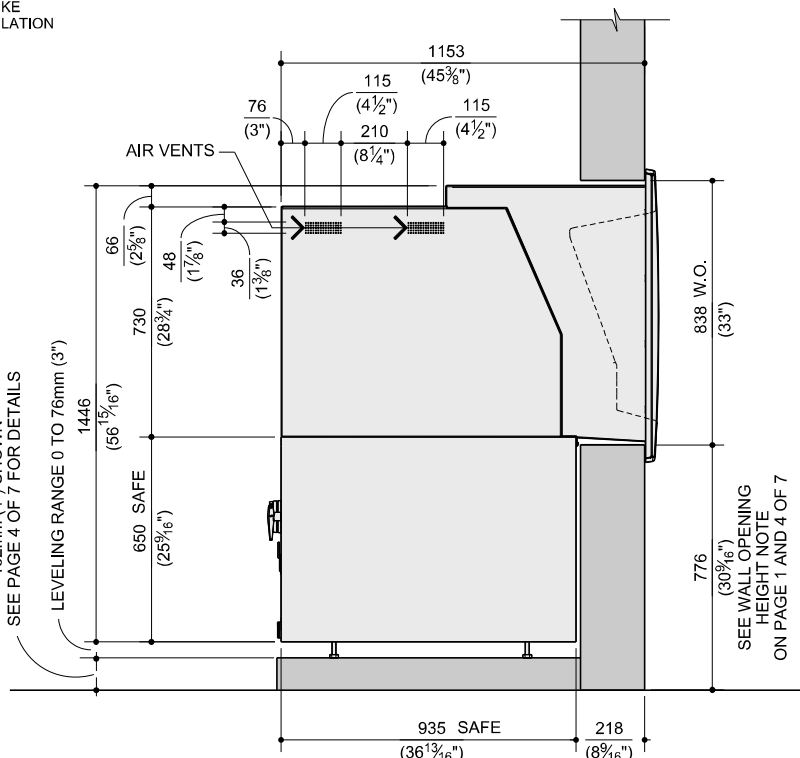
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FILE NO. 177-656 REV. 5



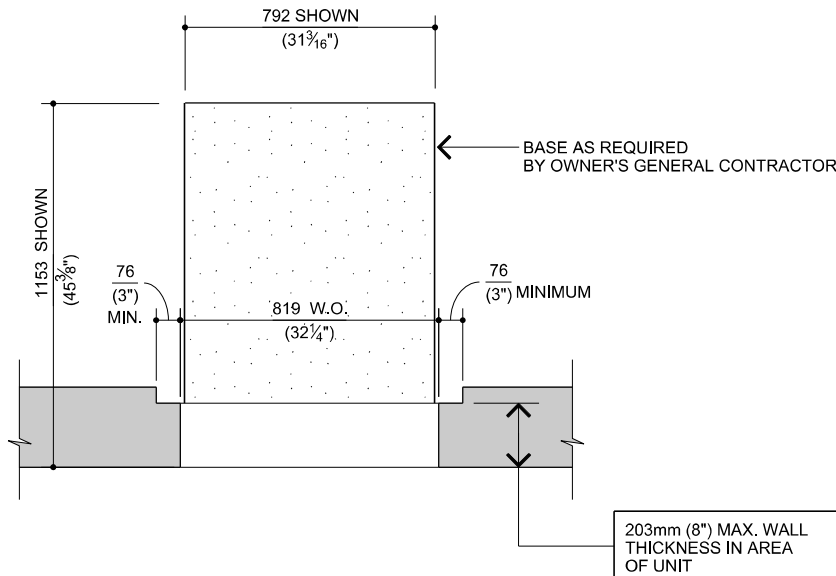
BACK ELEVATION



SIDE ELEVATION

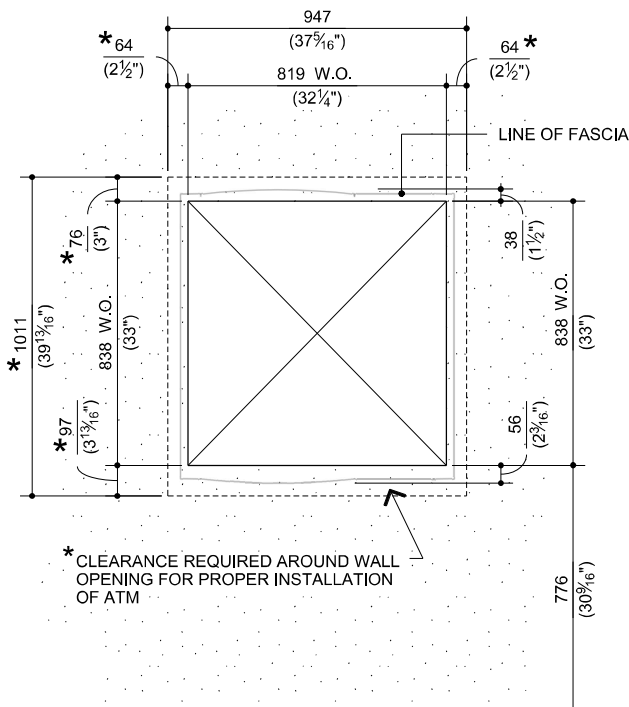
WALL OPENING DETAILS

DIMENSIONS IN MILLIMETRES
(DIMENSIONS IN INCHES)



PLAN VIEW

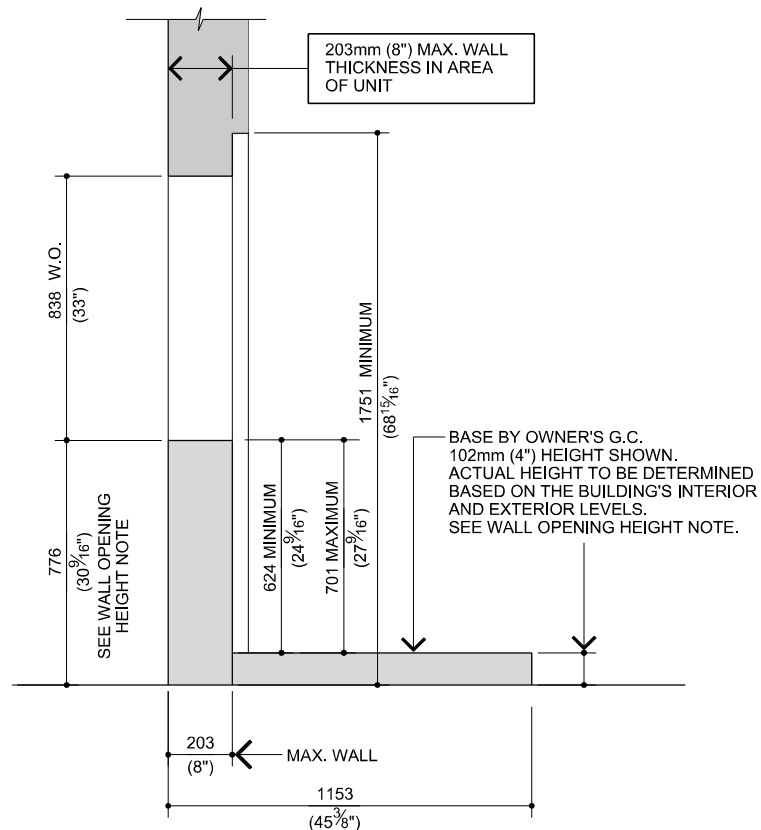
* PROVIDE VERTICAL AND HORIZONTAL FLAT PLUMB SURFACE AROUND WALL OPENING FOR PROPER INSTALLATION OF THE ATM



EXTERIOR ELEVATION

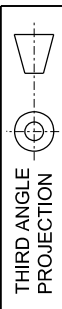
WALL OPENING HEIGHT NOTE

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VERTICAL SECTION

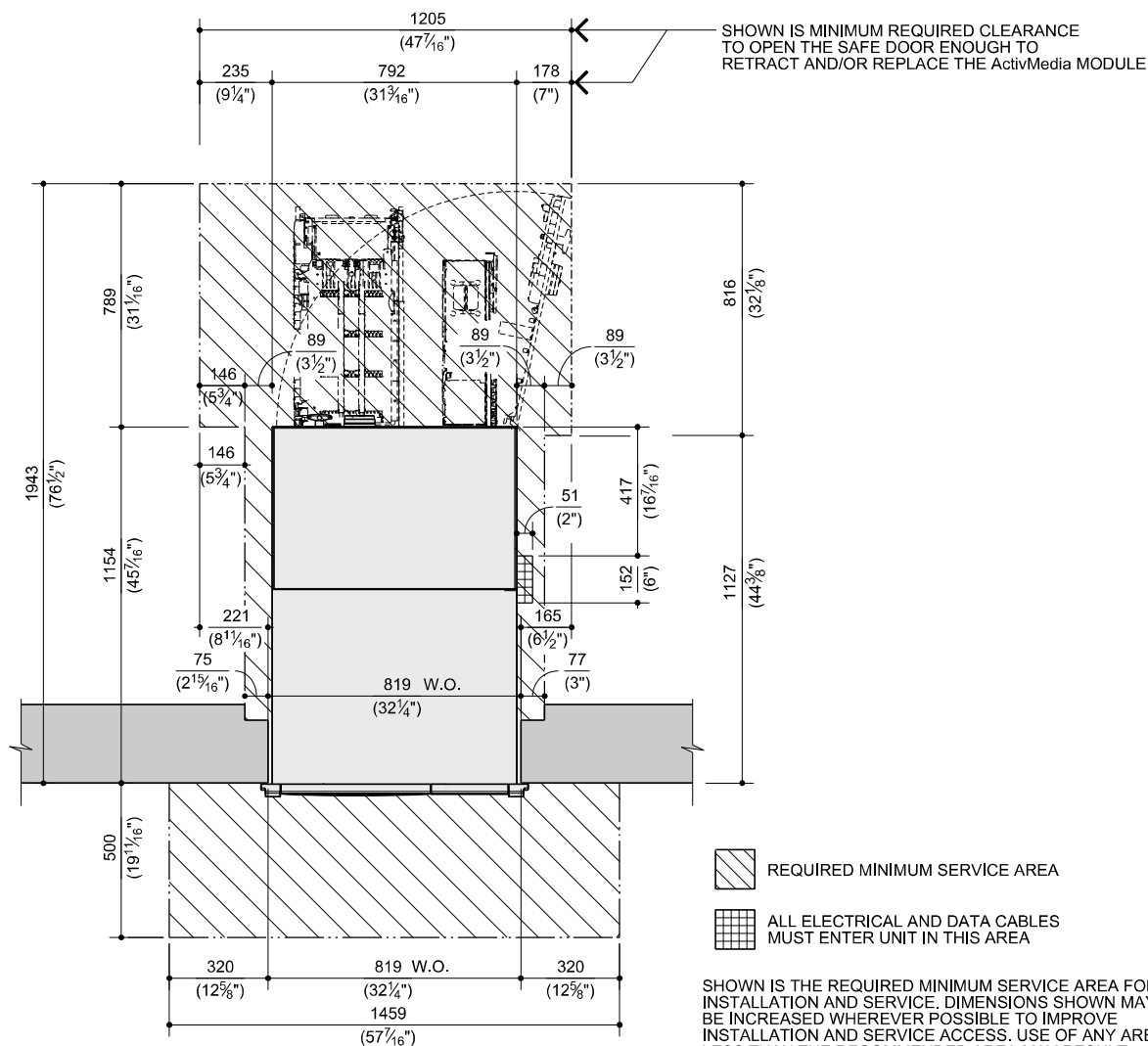
DIMENSIONS IN MILLIMETRES
(DIMENSIONS IN INCHES)



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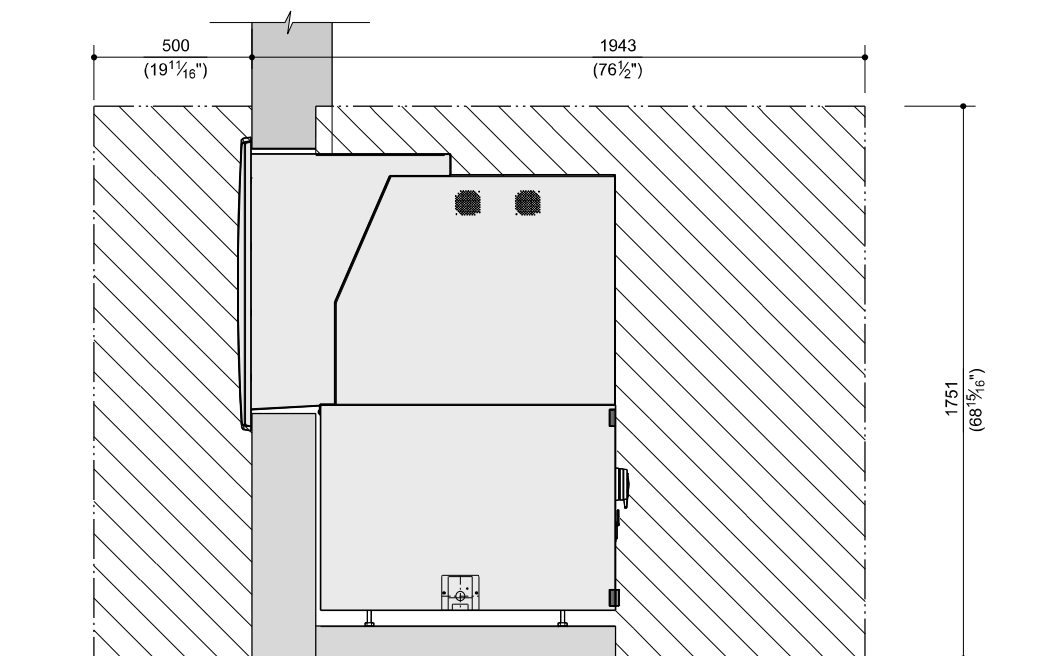
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FILE NO. 177-656 REV. 5



**PLAN VIEW
(REQUIRED MINIMUM SERVICE AREA)**

SHOWN IS THE REQUIRED MINIMUM SERVICE AREA FOR
INSTALLATION AND SERVICE. DIMENSIONS SHOWN MAY
BE INCREASED WHEREVER POSSIBLE TO IMPROVE
INSTALLATION AND SERVICE ACCESS. USE OF ANY AREA
LESS THAN THE RECOMMENDED AREA MAY RESULT
IN AN INCREASE IN INSTALLATION AND SERVICE TIME.
CONSULT WITH DIEBOLD NIXDORF INSTALLATION/SERVICE
BRANCH FOR SPECIAL BUILDING CONDITIONS.



SECTION

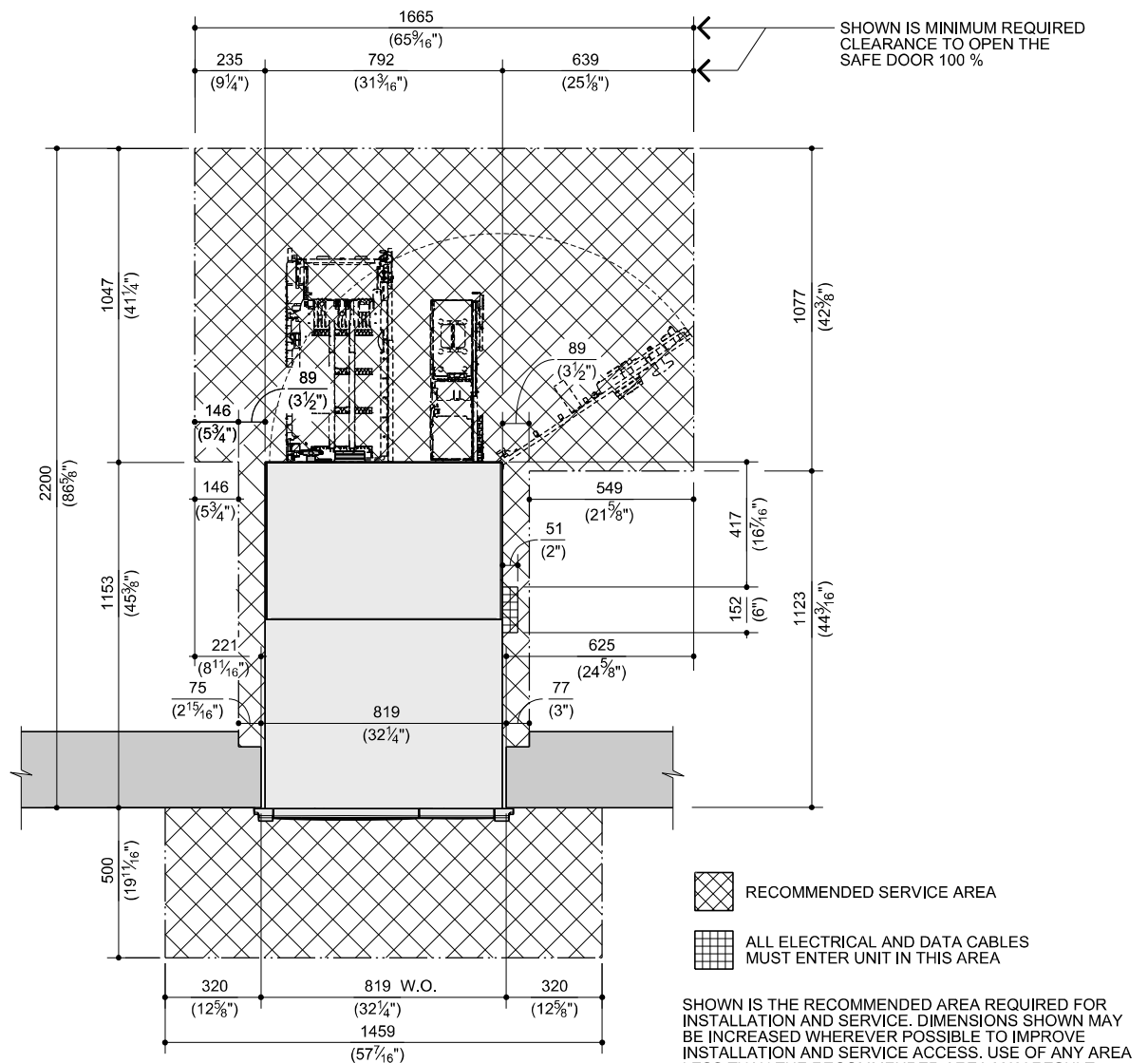
DIMENSIONS IN MILLIMETRES
(DIMENSIONS IN INCHES)



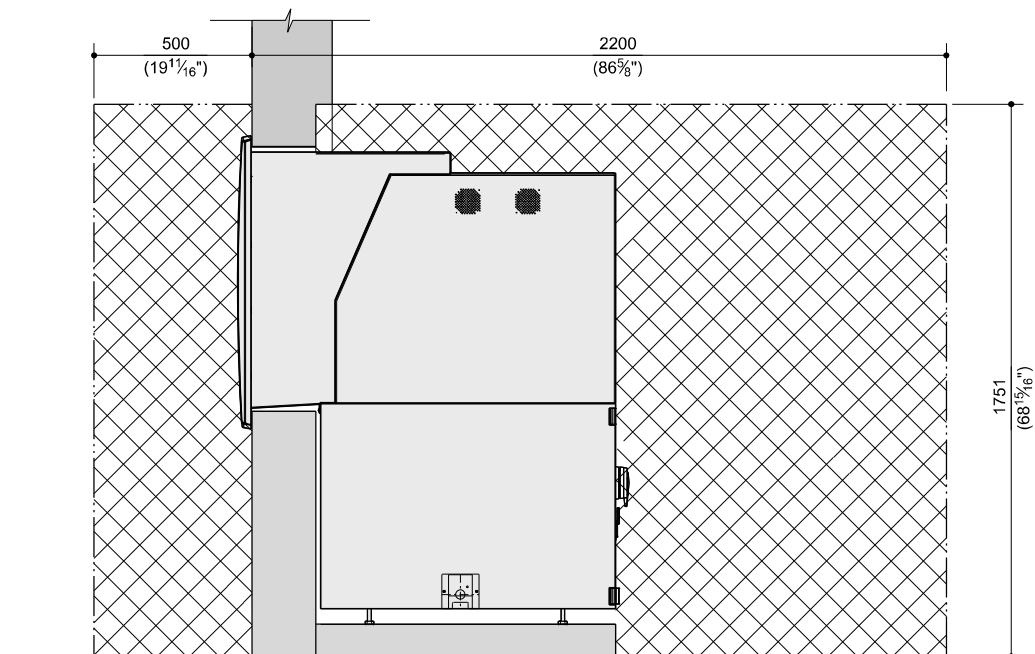
PAGE 6 OF 7

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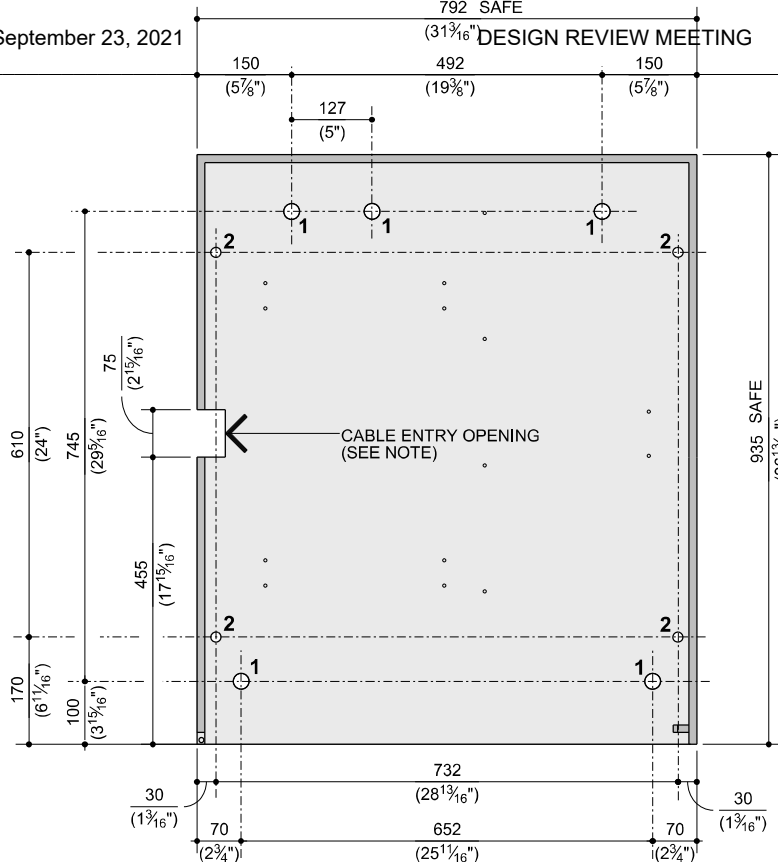
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**PLAN VIEW
(RECOMMENDED SERVICE AREA)**



SECTION

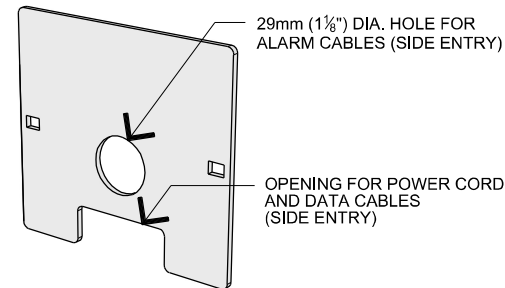
DIMENSIONS IN MILLIMETRES
(DIMENSIONS IN INCHES)


PLAN/SECTION SAFE FLOOR

- 1- (5) 25.4mm (1") DIA. FLOOR MOUNTING HOLES
2- (4) 14mm (9/16") DIA. LEVELING LEG HOLES

CABLE ENTRY NOTE:

ELECTRICAL AND DATA CABLING ENTERS THE TERMINAL THROUGH A CABLE ENTRY OPENING ON THE LEFT SIDE OF THE SAFE. CABLES ENTERING THE TERMINAL PASS THROUGH THE POWER CABLE PLATE ATTACHED TO THE EXTERIOR SIDE WALL OF THE SAFE AND THROUGH A RESTRICTOR BRACKET ATTACHED ON THE INTERIOR SIDE WALL OF THE SAFE AT THE CABLE ENTRY OPENING. THE CABLE ENTRY OPENING IS ON THE LEFT SIDE OF THE SAFE AS VIEWED FROM THE REAR OF THE TERMINAL



POWER CABLE PLATE

NOTES:

FOR ADDED SECURITY:

IT IS RECOMMENDED THAT THE TERMINAL SAFE BE SECURED TO THE FLOOR WITH ANCHOR BOLTS. USE THE FOLLOWING GUIDELINES TO DETERMINE THE APPROPRIATE METHOD FOR YOUR INSTALLATION.

ANCHORING THE ATM TO CONCRETE FLOORS:

IT IS RECOMMENDED THAT THE TERMINAL SAFE BE ANCHORED TO CONCRETE FLOORS WHENEVER POSSIBLE. DIEBOLD NIXDORF RECOMMENDS USING A M20 OR 19mm (3/4") ANCHOR BOLT THAT IS 203mm (8") LONG. CONCRETE FLOORS OR CONCRETE BASES MUST BE A MINIMUM OF 102mm (4") THICK FOR ANCHORING TO BE EFFECTIVE. THERE IS NO LIMIT FOR MAXIMUM THICKNESS. ANCHOR BOLTS MUST BE USED IN ALL AVAILABLE ANCHOR HOLES. REFER TO VIEW "A" AND "B" FOR ADDITIONAL DETAILS.

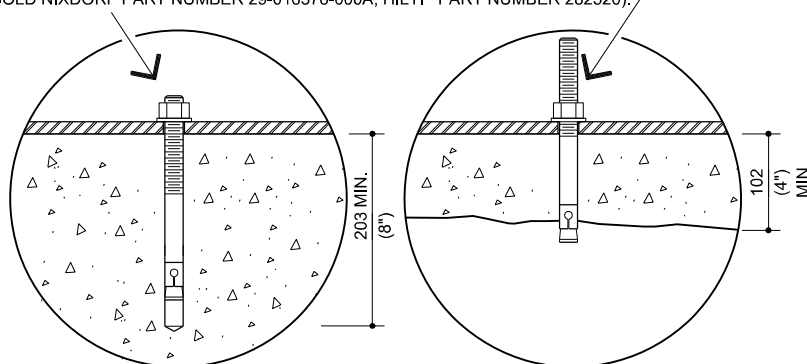
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OWNER'S INSTALLER TO DRILL (4) 19mm (3/4") DIA. X 203mm (8" MIN.) DEEP HOLES IN CONCRETE FLOOR (RECOMMENDED DRILLING COMPLETELY THROUGH FLOOR WHEN POSSIBLE AND TO BE SECURED TO THE CONCRETE FLOOR WITH (4) 19mm (3/4")-10 X 203mm (8") LONG WEDGE ANCHORS (SUPPLIED BY OWNER'S INSTALLER) DIEBOLD NIXDORF PART NUMBER 29-016376-000A, HILTI PART NUMBER 282520).



VIEW "A"

MINIMUM HOLE DEPTH
203mm (8")

VIEW "B"

MINIMUM CONCRETE DEPTH
102mm (4")

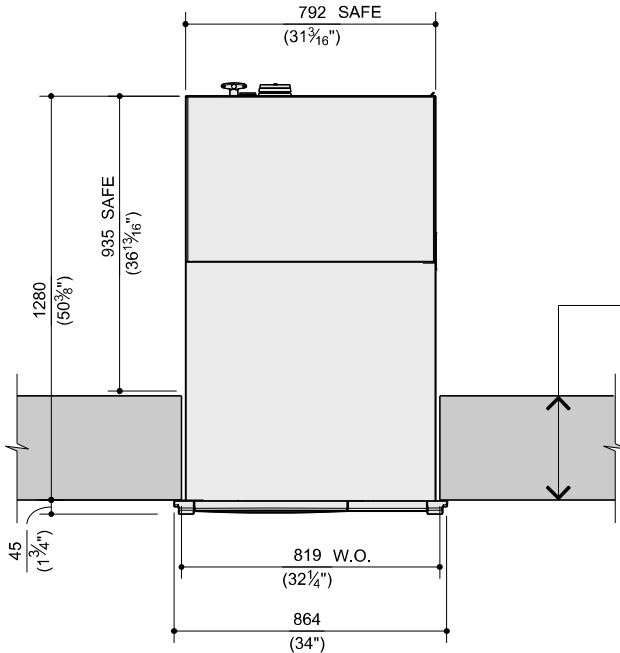
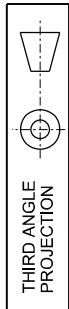
CS 7750 FULL FUNCTION TERMINAL
15" OR 19" DISPLAY - THROUGH THE WALL 330mm (13")
13mm (1/2") UL SAFE

CALL 1-800-999-3600

CONSULT WITH DIEBOLD NIXDORF INSTALLATION/SERVICE BRANCH FOR ADDITIONAL DETAILS AND INFORMATION. PLEASE SEE PLANNING AND SITE PREPARATION GUIDE TP-821806-001.

FOR INSTALLATION THROUGH 203mm (8") MAXIMUM WALL PLEASE SEE CUT SHEET FILE NUMBER 177-656

DIMENSIONS IN MILLIMETRES
(DIMENSIONS IN INCHES)



PLAN VIEW

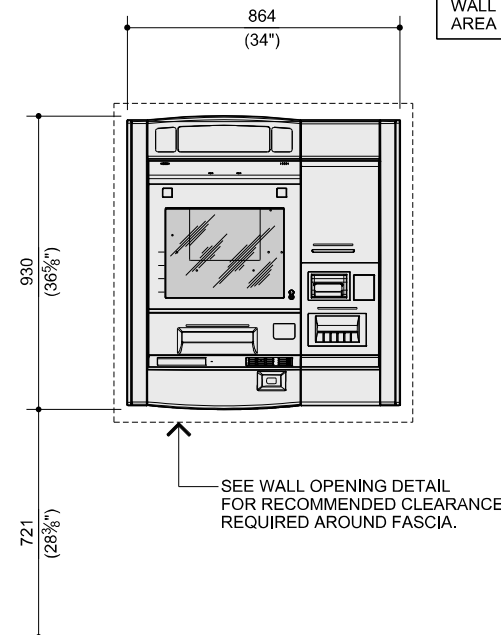
483mm (19") DISPLAY SHOWN

330mm (13") MAXIMUM WALL THICKNESS IN AREA OF UNIT

NOTE:
FOR CONSUMER ACCESS DIMENSIONS AND FRONT ELEVATION OF 15" DISPLAY SEE PAGE 2 OF 7

PAGE 1 OF 7

ALL DIMENSIONS AND DESIGN CRITERIA SUBJECT TO CHANGE WITHOUT NOTICE

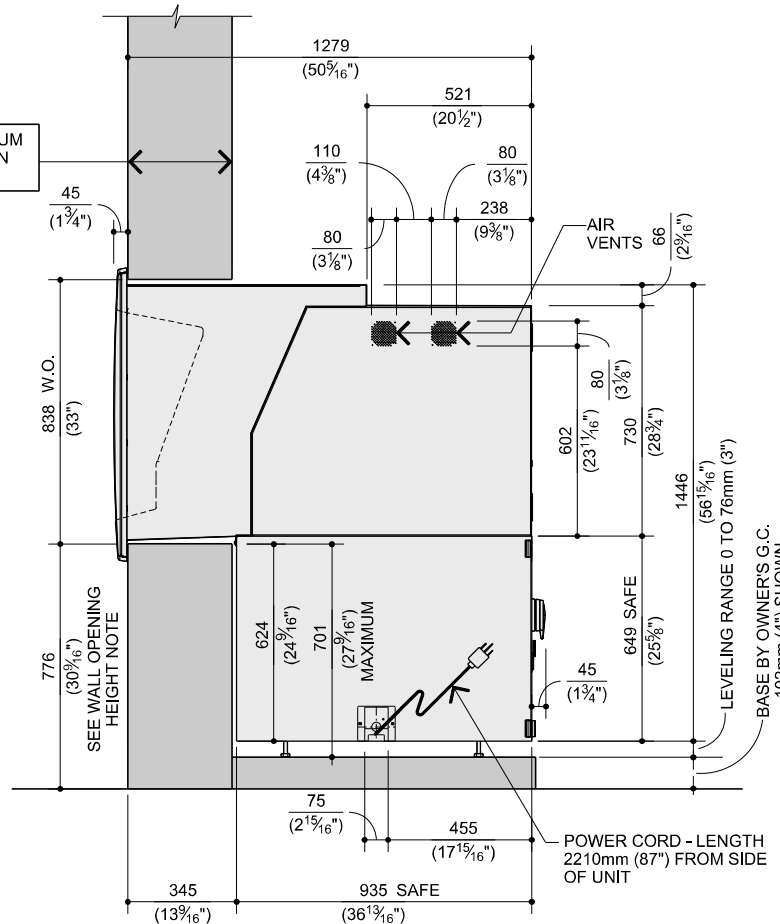


FRONT ELEVATION

19" DISPLAY SHOWN

WALL OPENING HEIGHT NOTE

VERIFY INSIDE FLOOR AND EXTERIOR LEVEL HEIGHTS PRIOR TO CONSTRUCTING WALL OPENING. IF INSIDE FLOOR LEVEL IS MORE THAN 152mm (6") HIGHER THAN EXTERIOR LEVEL, DIMENSION FOR WALL OPENING HEIGHT MUST BE ADJUSTED ACCORDINGLY AND REQUIRED OPERATING HEIGHTS MAY NOT BE MET FOR ACCESSIBILITY STANDARDS (ADA, CSA, CAE, CEN, ETC.) CALCULATE THE CONSUMER ACCESS DIMENSIONS ON PAGE 2 OF 7 FROM SAFE BOTTOM.



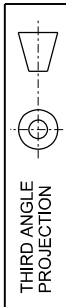
SECTION

CONSUMER ACCESS DIMENSIONS

	HEIGHT	DEPTH
A TOP OF CONSUMER DISPLAY (19" DISPLAY)	1205mm (47 1/16")	257mm (10 1/8")
B TOP FUNCTION KEY (19" DISPLAY)	1067mm (42")	207mm (8 1/8")
C BOTTOM OF CONSUMER DISPLAY	923mm (36 3/8")	155mm (6 1/8")
D ActivCash	782mm (30 7/16")	134mm (5 5/16")
E ActivView	707mm (27 3/4")	131mm (5 1/8")
F EPP KEY	713mm (28 1/16")	46mm (1 3/16")
G RECEIPT PRINTER	1067mm (42")	134mm (5 5/16")
H CARD READER / ActivEdge	943mm (37 1/8")	134mm (5 5/16")
I CONTACTLESS CARD READER	943mm (37 1/8")	134mm (5 5/16")
J HEADPHONE JACK	925mm (36 1/16")	152mm (6")
K ActivMedia	816mm (32 1/8")	191mm (7 1/2")
L COIN	792mm (31 3/16")	134mm (5 5/16")
M 2D BARCODE SCANNER	665mm (26 1/8")	0
N TOP OF CONSUMER DISPLAY (15" DISPLAY)	1137mm (44 3/4")	232mm (9 1/8")
O TOP FUNCTION KEY (15" DISPLAY)	1033mm (40 1/16")	189mm (7 3/8")

HEIGHT - FROM BOTTOM OF SAFE
DEPTH - FROM FRONT EDGE OF BEZEL

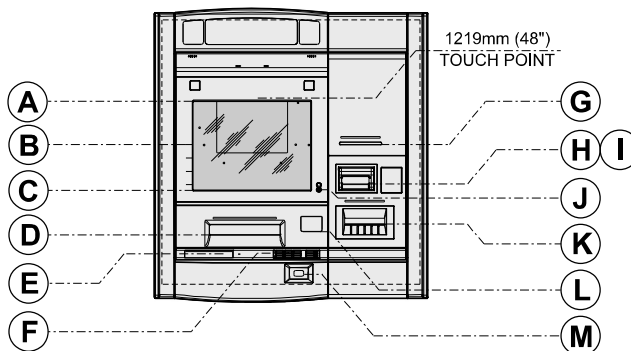
DIMENSIONS IN MILLIMETRES
(DIMENSIONS IN INCHES)



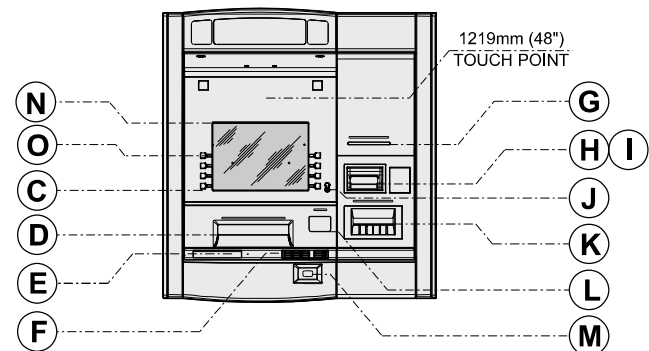
THIRD ANGLE
PROJECTION

PAGE 2 OF 7

*ALL DIMENSIONS AND DESIGN CRITERIA
SUBJECT TO CHANGE WITHOUT NOTICE*



FRONT ELEVATION
19" DISPLAY



FRONT ELEVATION
15" DISPLAY



CONDUIT AND JUNCTION BOX REQUIREMENTS

September 23, 2021

DESIGN REVIEW MEETING

POWER REQUIREMENTS:

THE TERMINAL REQUIRES A SINGLE-PHASE, THREE-WIRE UNSWITCHED 120V AC POWER RECEPTACLE. WIRING TO THE RECEPTACLE MUST INCLUDE A THIRD-WIRE EARTH GROUND (CONDUIT GROUND IS NOT ACCEPTABLE). THE TERMINAL WILL PROVIDE A POWER CORD WITH A COUNTRY SPECIFIC POWER PLUG. THE POWER SUPPLIED MUST BE AS SPECIFIED BELOW.

CHOOSE AND SUPPLY THE PROPER POWER FOR THE SITE:

- ☐ 100-127 VAC (+6%, -10%) AT 50 (±1%) Hz, SINGLE-PHASE
- ☐ 100-127 VAC (+6%, -10%) AT 60 (±1%) Hz, SINGLE-PHASE
- ☐ 200-240 VAC (±10%) AT 50 (±1%) Hz, SINGLE-PHASE
- ☐ 200-240 VAC (±10%) AT 60 (±1%) Hz, SINGLE-PHASE

POWER TO THE TERMINAL IS TO BE A DEDICATED SERVICE AND MUST BE PROTECTED BY A SAFETY QUICK-DISCONNECT DEVICE TO BREAK LINE VOLTAGE (SUCH AS A CIRCUIT BREAKER AT THE ELECTRICAL SERVICE PANEL, THE QUICK-DISCONNECT DEVICE (OR CIRCUIT BREAKER) MUST TURN OFF THE LINE VOLTAGE AT THE FOLLOWING AMPERAGE.

- 100-127 VAC (+6%, -10%) SERVICE, DISCONNECT AT 20 AMPERES
- 200-240 VAC (±10%) SERVICE, DISCONNECT AT 10 AMPERES

THE MODULE BULK POWER SUPPLY AND PROCESSOR POWER SUPPLY WILL PROVIDE POWER CONDITIONING TO PREVENT THE TERMINAL FROM MALFUNCTIONING DUE TO SHORT-TERM AC POWER FLUCTUATIONS AS OUTLINED IN EN61000-4-11.

POWER USAGE:

MACHINE STATUS	Ⓐ
IDLE (NO TRANSACTION) (NO HEATER)	225 WATTS
IDLE (NO TRANSACTION) (WITH HEATER)	775 WATTS
CASH DEPOSIT	295 WATTS
CASH DISPENSE	265 WATTS

TERMINAL CONFIGURATION:

- Ⓐ ActivCore HIGH END, 19" SVD, ActivDispense, ActivMedia, ActivEdge CARD READER, 80mm RECEIPT PRINTER, BATTERY PACK, REAR DISPLAY, JOURNAL PRINTER, CONTACTLESS CARD READER, LOWER CONTROL CARD, 7" DISPLAY, AND TASK LIGHTS.

THE POWER USE DEPENDS ON THE NUMBER AND TYPE OF DEVICES PRESENT IN THE TERMINAL, AND THE TYPE OF TRANSACTION THE TERMINAL IS PERFORMING.

VALUES ABOVE ARE BASED ON MEASURED AVERAGES FOR THE CONFIGURATION LISTED.

HEAT OUTPUT CONFIGURATION:

- Ⓐ 768 - BTU/HR - IDLE (NO HEATER)
- 2643 - BTU/HR - IDLE (WITH HEATER)
- 1006 - BTU/HR - CASH DEPOSIT
- 904 - BTU/HR - CASH DISPENSE

THE HEAT OUTPUT VALUES ABOVE ARE BASED ON MEASURED AVERAGES FOR THE CONFIGURATION LISTED.

OPERATING ENVIRONMENT:

SAFE LOCATION — OPERATING TEMPERATURE RANGE (INSIDE AT OUTSIDE WALLS OF UPPER CABINET AND SAFE) OF 0° C TO 50° C (32° F TO 122° F) WITH A SOLID STATE DRIVE (SSD) EQUIPPED PROCESSOR. IF A HARD DISK DRIVE (HDD) IS USED, THE MAXIMUM OPERATING TEMPERATURE IS REDUCED TO 40° C (104° F) - MAXIMUM RATE OF CHANGE 10° C (18° F) PER HOUR

RELATIVE HUMIDITY (NON-CONDENSING) 20 TO 80% AT 32° C (90° F), 20 TO 55% AT 40° C (104° F) MAXIMUM RATE OF CHANGE 10% PER HOUR

OUTSIDE AT FASCIA — OPERATING TEMPERATURE RANGE OF -34° C TO 54° C (-30° F TO 129° F)

WEIGHT OF UNIT:

787 kg (1,734 LBS.)

ACTUAL WEIGHT OF THE TERMINAL WILL DEPEND ON THE CONFIGURATION OF THE TERMINAL COMPONENTS AND OPTIONS

- 1 25mm (1") METAL CONDUIT FROM ALARM CONTROL CABINET JUNCTION BOX TO 102mm (4") SQ. X 54mm (2 1/8") DEEP JUNCTION BOX (ALL BY OWNER'S E.C.(ELECTRICAL CONTRACTOR)).

- 2 OWNER'S E.C. TO RUN 19mm (3/4") LIQUID TIGHT FLEX METAL CONDUIT OR 19mm (3/4") RIGID CONDUIT FROM JUNCTION BOX TO CABLE CONNECTION PLATE.

- 3 19mm (3/4") METAL CONDUIT AND UNSWITCHED ELECTRICAL SUPPLY TO 102mm (4") SQ. X 54mm (2 1/8") DEEP JUNCTION BOX WITH RECEPTACLE WITHIN 2210mm (87") OF SIDE CONNECTING PLATE. (ALL BY OWNER'S E.C.) (SEE POWER REQUIREMENTS).

- 4 OWNER'S E.C. TO SUPPLY COMPATIBLE RECEPTACLE FOR COUNTRY SPECIFIC PLUG-IN CONNECTOR SUPPLIED WITH UNIT. POWER CORD LENGTH 2210mm (87") FROM SIDE OF UNIT.

NOTE:

JUNCTION BOXES MUST BE LOCATED WITHIN 2210mm (87") OF CONNECTING PLATE. (LENGTH OF ELECTRICAL POWER CABLE PROVIDED WITH UNIT). LOCATE IN AN EASILY ACCESSIBLE AREA.

BOXES CAN BE FLUSH MOUNTED WITH CONCEALED CONDUIT FOR NEW CONSTRUCTION OR BOXES CAN BE SURFACE MOUNTED WITH EXPOSED CONDUIT FOR EXISTING CONSTRUCTION.

PHYSICAL SECURITY

UL RATED ATM SAFES MEET THE ATTACK TEST REQUIREMENTS DEFINED IN UL 291-15. THE SAFE DOOR FEATURES A POSITIVE RELOCKING DEVICE. ACCESS TO THE SAFE DOOR IS MANAGED BY AN INSTALLED MECHANICAL OR ELECTRONIC COMBINATION LOCK OR LOCKS THAT ARE UL CERTIFIED, VDS CERTIFIED CLASS 1 OR CLASS 2, AND/OR EN-1300 CERTIFIED CLASS A OR CLASS B DEPENDING ON THE SYSTEM CONFIGURATION. CONSULT THE SYSTEM OPERATING GUIDE FOR FURTHER INFORMATION.

BUILDING AIR PRESSURE

BUILDING AIR PRESSURE DIFFERENCES AT THE TERMINAL INSTALLATION LOCATION AFFECT THE INFILTRATION OF OUTSIDE AIR AND ACCOMPANY DIRT. THE TERMINAL WILL OPERATE THROUGH ITS FULL RANGE OF FASCIA TEMPERATURES -34° C TO 54° C (-29° F TO 129° F) WITH ZERO (STATIC) OR POSITIVE AIR PRESSURE DIFFERENTIAL (MEASURED FROM THE INSIDE TO THE OUTSIDE OF THE BUILDING AT THE TERMINAL INSTALLATION LOCATION). IF STATIC OR POSITIVE AIR PRESSURE CANNOT BE MAINTAINED, THE FASCIA LOWER LIMIT TEMPERATURE IS -20° C (-4° F). THE MAXIMUM NEGATIVE AIR PRESSURE ALLOWED IS 0.05" H₂O.

ALARM PROTECTION

UL RATED SAFES ARE EQUIPPED WITH A SAFE DOOR SWITCH BY DEFAULT. ADDITIONAL ALARM AND SENSOR PACKAGES ARE AVAILABLE TO MONITOR FOR VARIOUS ATTACK VECTORS. CONSULT THE SYSTEM OPERATING GUIDE FOR FURTHER INFORMATION.

SIGNAL CABLE RUN CONSTRAINTS

THE FOLLOWING CHART ITEMIZES THE PHYSICAL SPACING REQUIREMENTS OF THE SIGNAL CABLE RUN WITH RESPECT TO OTHER POWER AND ELECTRICAL EQUIPMENT CABLE RUN.

TYPE OF ELECTRICAL RUN	SEPARATION FROM OTHER CABLES		
	BELOW 2 KVA	2-5 KVA	ABOVE 5 KVA
FLUORESCENT, NEON OR INCANDESCENT LIGHTING FIXTURES	127mm (5")	127mm (5")	127mm (5")
UNSHIELDED POWER LINE OR ELECTRICAL EQUIPMENT	127mm (5")	305mm (1'-0")	610mm (2'-0")
UNSHIELDED POWER LINES OR ELECTRICAL EQUIPMENT WITH SIGNAL CABLES ENCLOSED IN GROUNDED CONDUIT	64mm (2 1/2")	152mm (6")	305mm (1'-0")
POWER LINES IN GROUNDED CONDUIT WITH SIGNAL CABLES IN GROUNDED CONDUIT	30mm (1 3/16")	76mm (3")	152mm (6")

SIGNAL CABLE INSTALLATION CONSTRAINTS:

RELATIVE CARE IS REQUIRED WHEN INSTALLING SIGNAL CABLES IN CONDUITS, UNLIKE POWER AND LIGHTING CABLE. SIGNAL CABLES HAVE CONDUCTORS AND LIGHT INSULATION AND WILL NOT WITHSTAND AS MUCH STRAIN IN INSTALLATION.

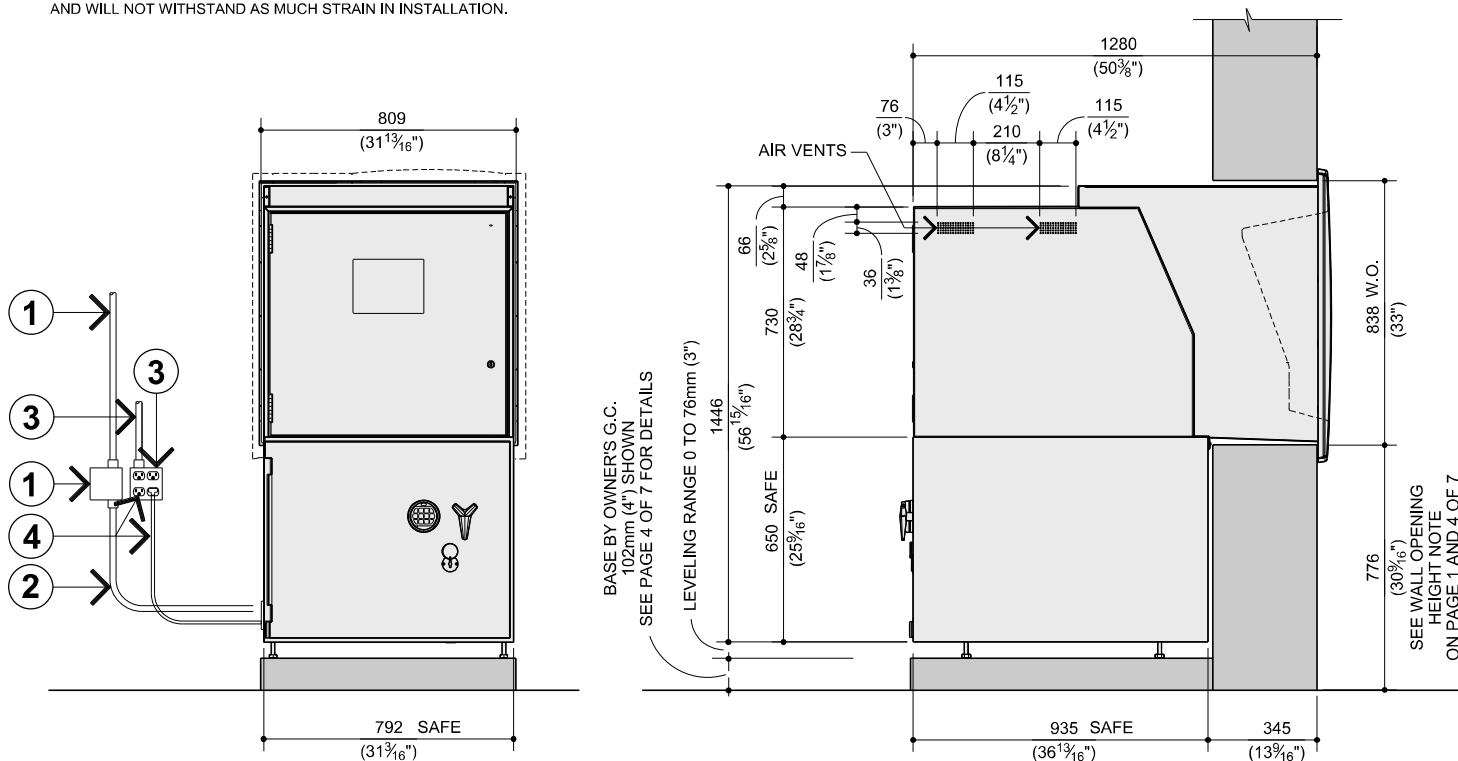
DIMENSIONS IN MILLIMETRES
(DIMENSIONS IN INCHES)

THIRD ANGLE
PROJECTION

PAGE 3 OF 7

*ALL DIMENSIONS AND DESIGN CRITERIA
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FILE NO. 177-654 REV. 5

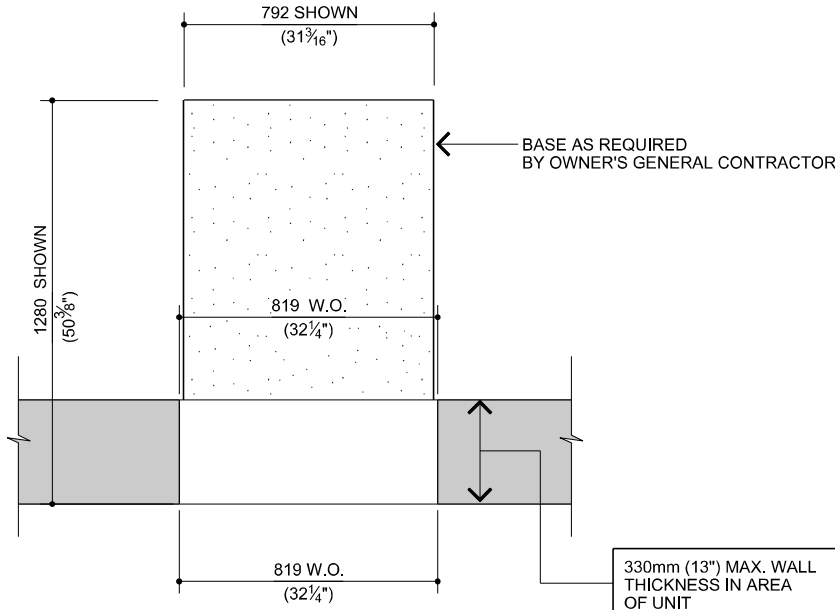


BACK ELEVATION

SIDE ELEVATION

WALL OPENING DETAILS

DIMENSIONS IN MILLIMETRES
(DIMENSIONS IN INCHES)

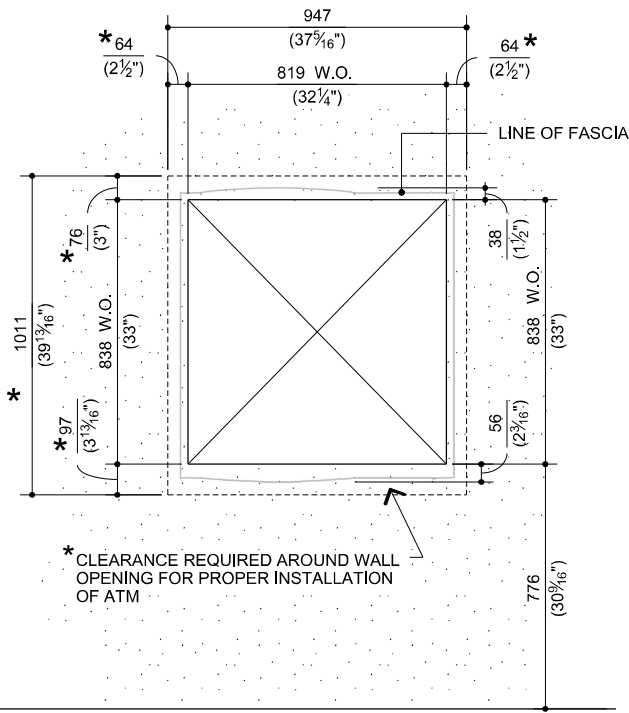


PLAN VIEW

* PROVIDE VERTICAL AND HORIZONTAL
FLAT PLUMB SURFACE AROUND WALL
OPENING FOR PROPER INSTALLATION
OF THE ATM

PAGE 4 OF 7

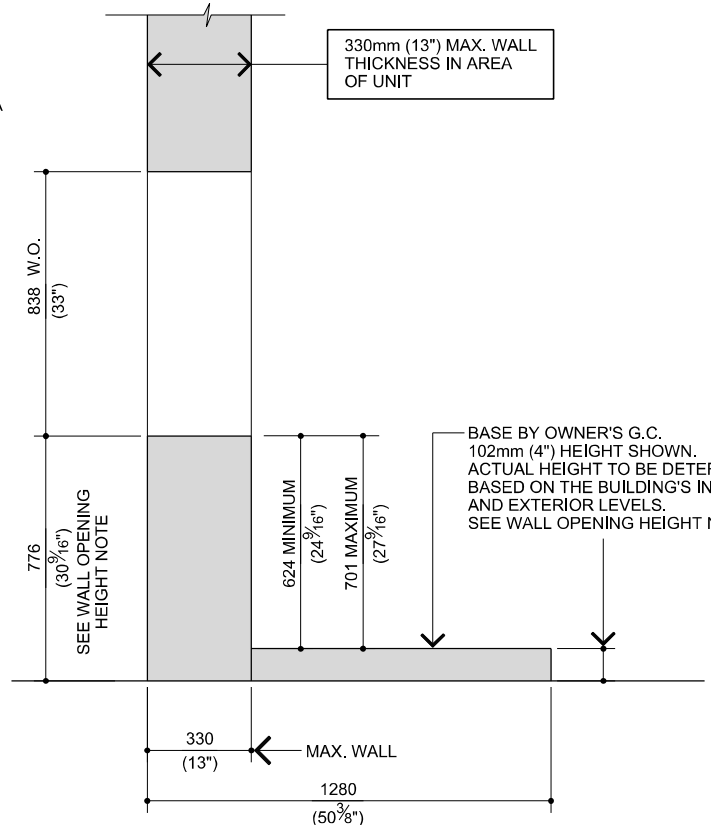
*ALL DIMENSIONS AND DESIGN CRITERIA
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EXTERIOR ELEVATION

WALL OPENING HEIGHT NOTE

VERIFY INSIDE FLOOR AND EXTERIOR LEVEL HEIGHTS PRIOR TO
CONSTRUCTING WALL OPENING. IF INSIDE FLOOR LEVEL IS MORE
THAN 152mm (6") HIGHER THAN EXTERIOR LEVEL, DIMENSION FOR
WALL OPENING HEIGHT MUST BE ADJUSTED ACCORDINGLY AND
REQUIRED OPERATING HEIGHTS MAY NOT BE MET FOR ACCESSIBILITY
STANDARDS (ADA, CSA, CAE, CEN, ETC.) CALCULATE THE CONSUMER
ACCESS DIMENSIONS ON PAGE 2 OF 7 FROM SAFE BOTTOM.



VERTICAL SECTION

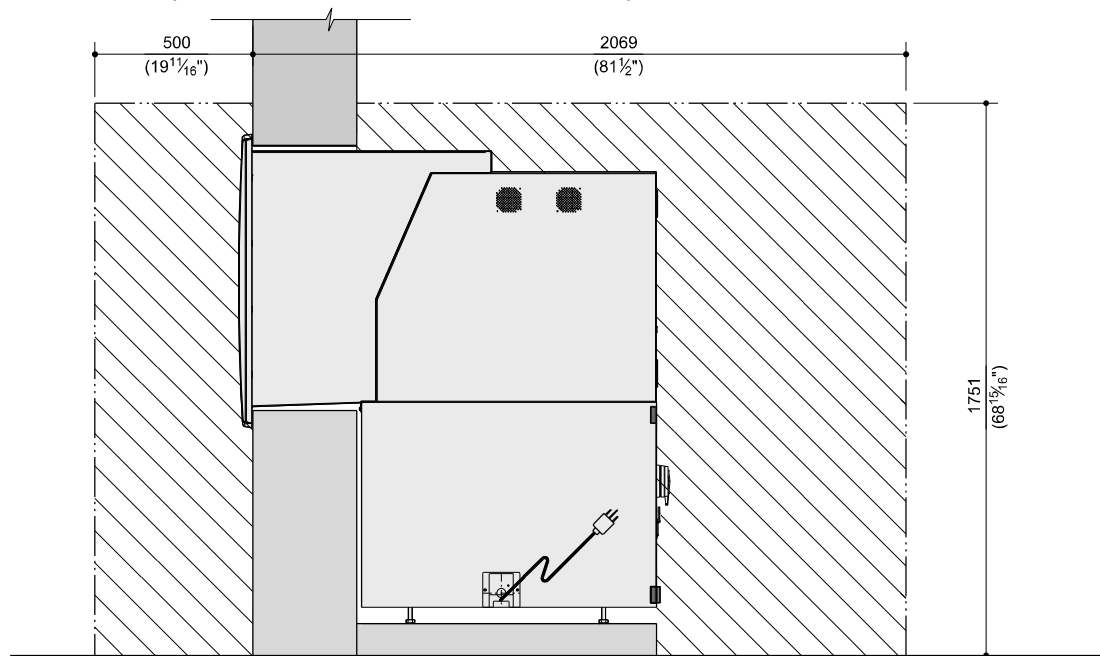
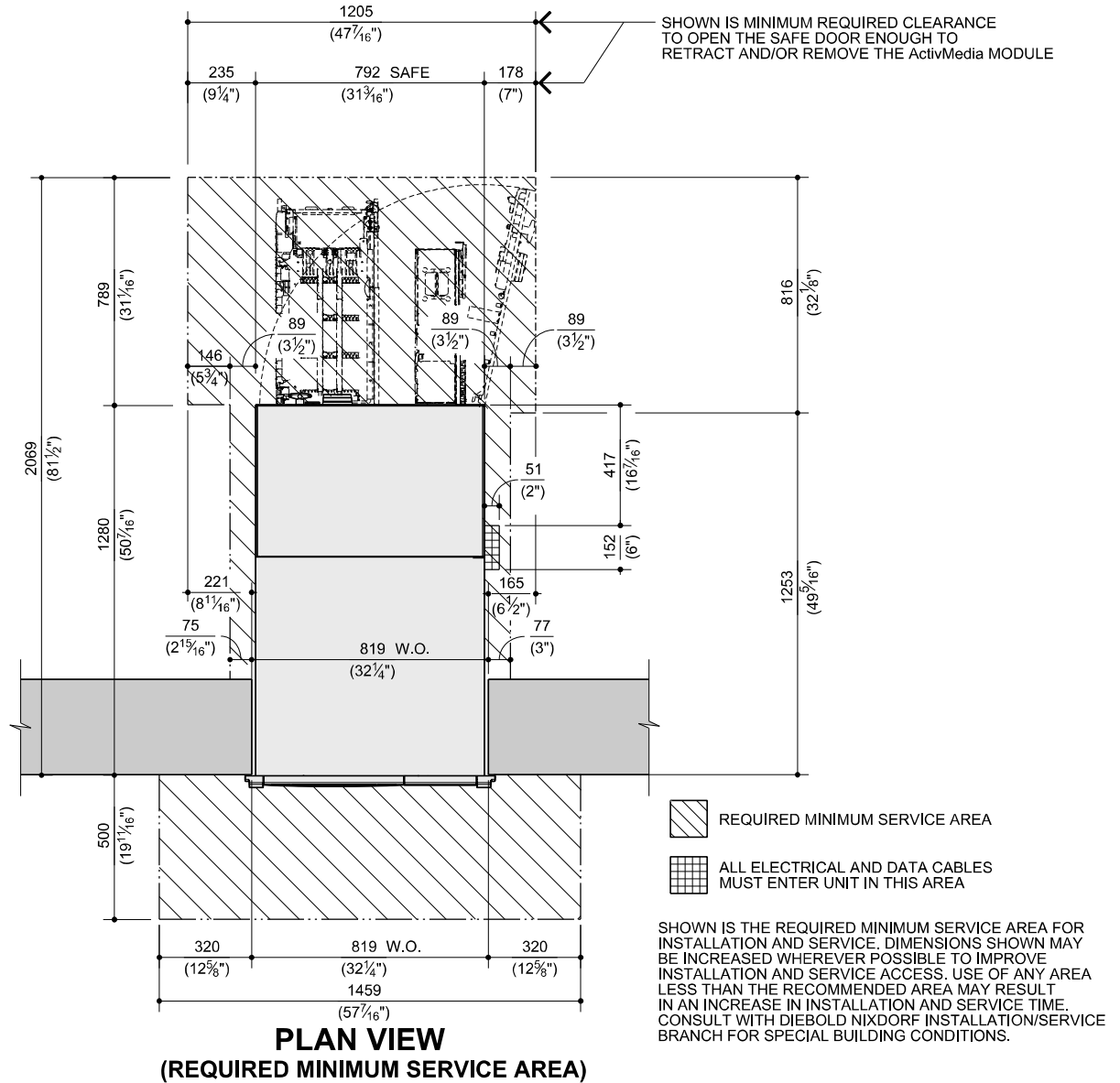
DIMENSIONS IN MILLIMETRES
(DIMENSIONS IN INCHES)



PAGE 5 OF 7

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FILE NO. 177-654 REV. 5



SECTION

CS 7750 FULL FUNCTION THROUGH THE WALL 330mm (13") TERMINAL RECOMMENDED SERVICE AREAS

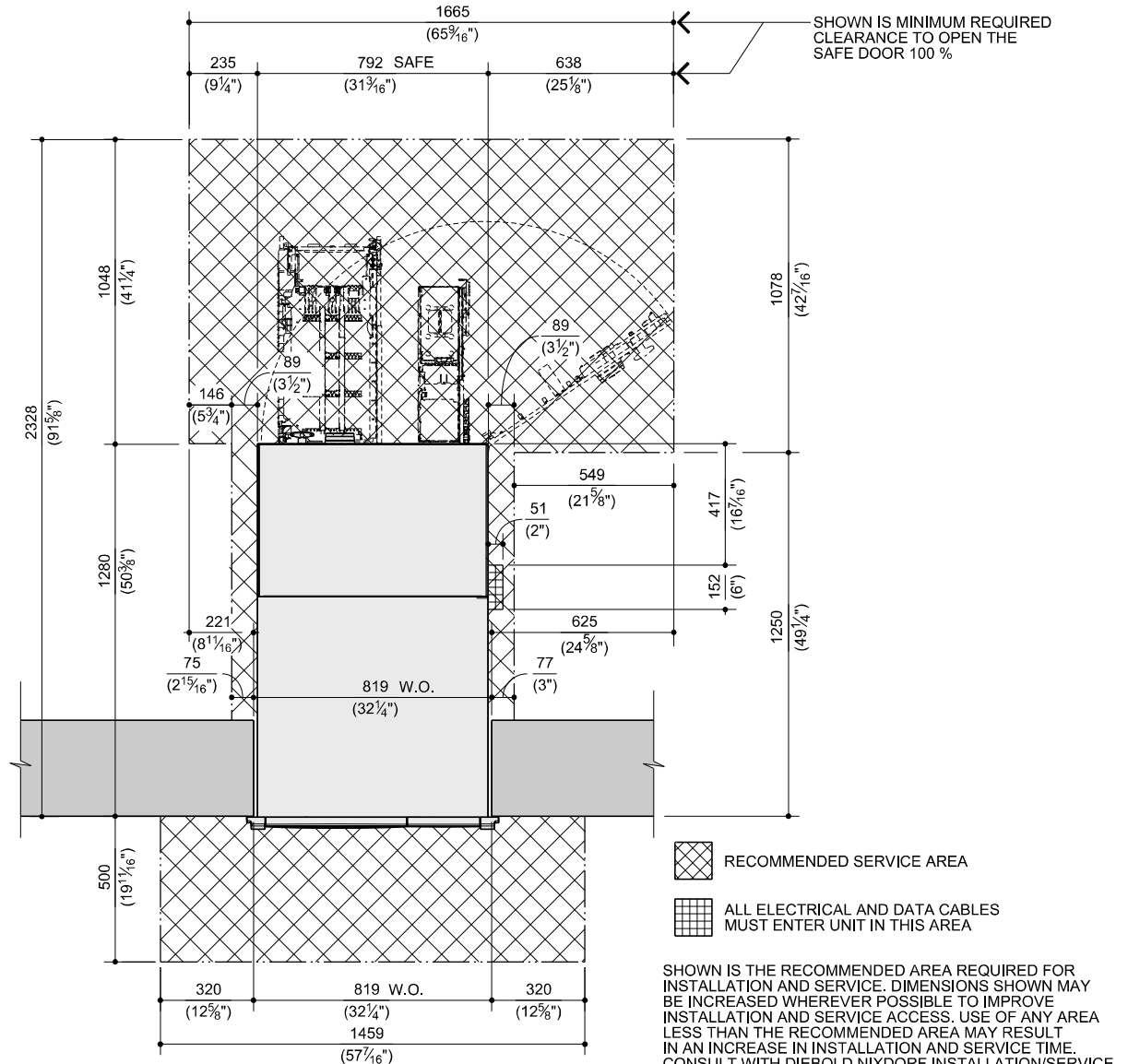
DIMENSIONS IN MILLIMETRES
(DIMENSIONS IN INCHES)



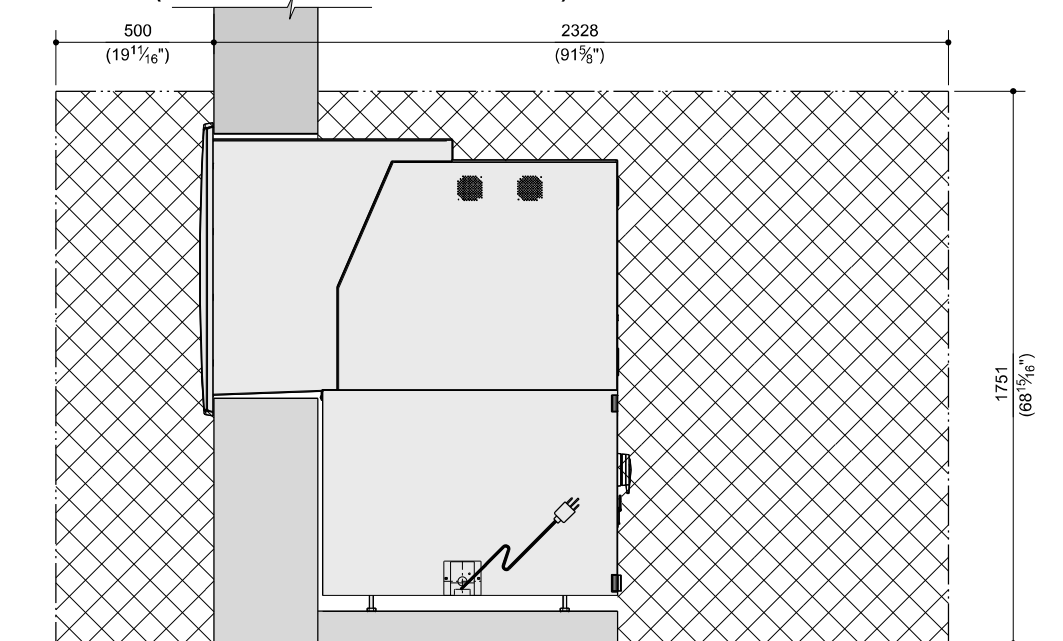
PAGE 6 OF 7

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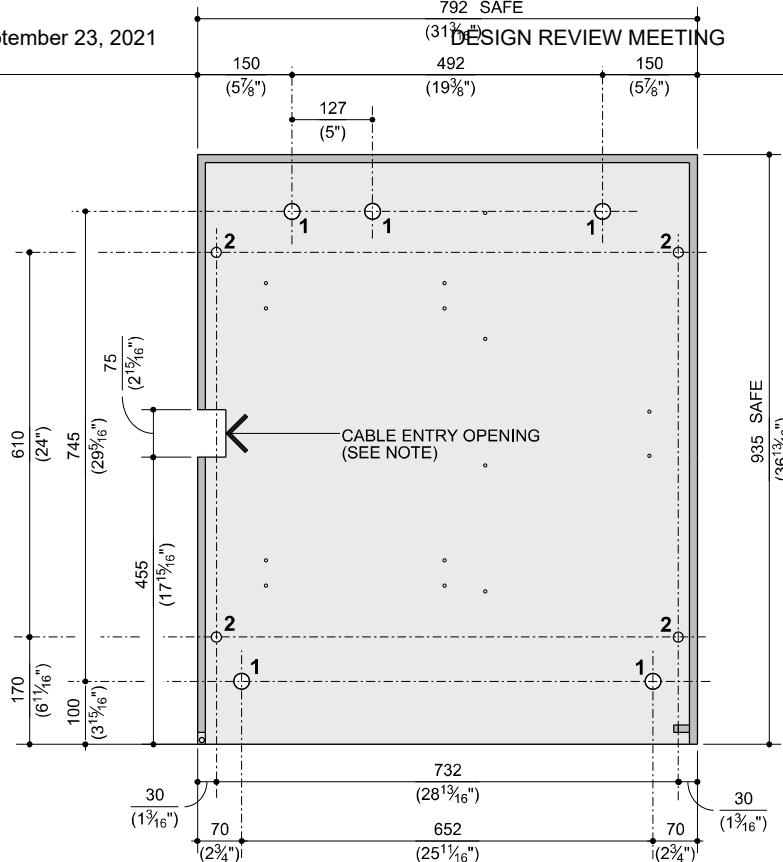


**PLAN VIEW
(RECOMMENDED SERVICE AREA)**



SECTION

DIMENSIONS IN MILLIMETRES
(DIMENSIONS IN INCHES)

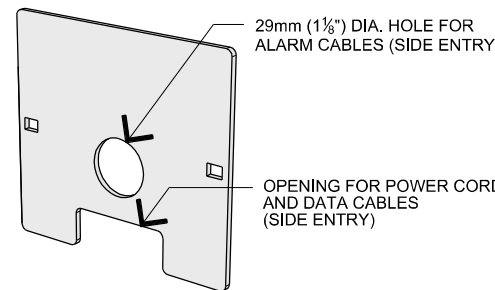


PLAN/SECTION SAFE FLOOR

- 1- (5) 25.4mm (1") DIA. FLOOR MOUNTING HOLES
2- (4) 14mm (9/16") DIA. LEVELING LEG HOLES

CABLE ENTRY NOTE:

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POWER CABLE PLATE

NOTES:

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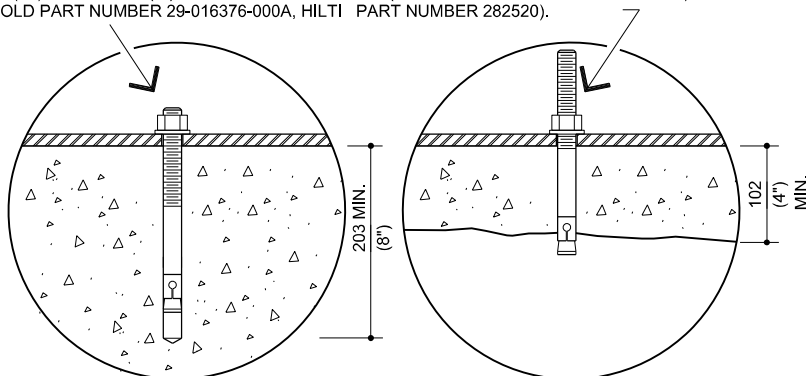
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OWNER'S INSTALLER TO DRILL (4) 19mm (3/4") DIA. X 203mm (8" MIN.) DEEP HOLES IN CONCRETE FLOOR (RECOMMENDED DRILLING COMPLETELY THROUGH FLOOR WHEN POSSIBLE AND TO BE SECURED TO THE CONCRETE FLOOR WITH (4) 19mm (3/4")-10 X 203mm (8") LONG WEDGE ANCHORS (SUPPLIED BY OWNER'S INSTALLER) DIEBOLD PART NUMBER 29-016376-000A, HILTI PART NUMBER 282520).



VIEW "A"
MINIMUM HOLE DEPTH
203mm (8")

VIEW "B"
MINIMUM CONCRETE DEPTH
102mm (4")

46.00"

80.00"

1

A

1.00"

Side View

DESIGN REVIEW 2024
September 2024

usbank



Perspective

46.00"

80.00"

usbank



1

A

1.00"

Side View

Meeting Date:	September 23, 2021			Agenda Item Number		5.b	
Agenda Item Title	620 Main Street						
Presented By:	Jim Price and/or Staff						
Type of Item:	x	Action		Discussion		Information	
Action Required:		No Action	x	Voice Vote		Roll Call Vote	

PROJECT DESCRIPTION: Request for a Design Review Use Permit to reroof the building using Certain Teed Landmark Cobblestone Gray roofing at 620 Main Street (031-142-002).

RECOMMENDATION: Staff has included findings of fact (Attachment A) necessary to take an action on the Design Review Use Permit. If the Design Review Committee accepts the findings of fact or makes comparable findings, then staff recommends the Committee approve the Design Review Use Permit, subject to the conditions of approval listed in Attachment B.

RECOMMENDED MOTION: “Make the required findings of fact listed in Attachment A to approve the Design Review Use Permit, subject to the conditions of approval listed in Attachment B, to reroof the building using the approved application materials.”

ATTACHMENTS: Findings of Fact, Conditions of Approval, project description, and photos.

Attachment A
FINDINGS OF FACT

The following findings of fact are required for approving the Design Review Use Permit.

1. The proposed design, materials, and colors are visually harmonious with and conceptually consistent in character and scale with surrounding area.
2. The existing project, as outlined and with conditions:
 - Conforms to and is consistent with the Ferndale General Plan;
 - Does not impair the natural beauty of the town's site and setting; and
 - Will not be unsightly, obnoxious or undesirable in appearance to the extent that it will hinder the harmonious development of the zone, impair the desirability of the zone for the uses permitted therein, or limit the opportunity to attain optimum use and value of the land and improvements or otherwise adversely affect the general property and welfare.

Attachment B
CONDITIONS OF APPROVAL

Staff recommends Design Review Use Permit approval be subject to the following conditions. The violation of any term or requirement of this conditional approval may result in the revocation of the permit.

1. The applicant shall be responsible to pay all applicable fees, deposits or charges associated with processing and finalizing the Design Review Use Permit, and/or otherwise owed to the City of Ferndale. All applicable or other required fees shall be paid to the satisfaction of the City of Ferndale before the Permit and uses allowed are considered final and approved.
2. All proposed work shall be in conformance with the approved permit application and with the information and analysis contained in the associated staff report and conditions of approval on file with the City. Should the work deviate from that as allowed by this approval, then the applicant may be required to first receive Design Review Committee approval for such changes.
3. Should the applicant or any other future owner of the subject property not conform to the requirements of these conditions, then said non-conformance shall constitute a violation of this Design Review Use Permit and shall become null and void until either all the issues have been addressed to the satisfaction of the City, or the permit is revoked.
4. All proposed and/or future development, improvements, and construction authorized hereunder shall be in conformance with all applicable City ordinances, regulations and codes, including but not limited to Zoning Ordinance 02-02, including the Design Review requirements, the Uniform Building Code, any Fire Codes and/or Public Health & Safety Code, applicable to the nature and type of proposed use and/or construction. A City building permit is required for any construction associated with the proposed project with the burden on the applicant to comply.

CITY OF FERNDALE
PLANNING DEPARTMENT

STANDARD APPLICATION FORM

Please provide the following information as it applies to your application. For questions, call 786-4224.

- ### 1. Type of Application

Date: _____

	Bed & Breakfast Inn		Major Subdivision (5 parcels or more)
X	Design Review Use Permit		Minor Subdivision (4 parcels or less)
	Exception to Development Standards		Second Dwelling Unit
	Home Occupation Permit		Use Permit
	Lot Line Adjustment		Variance
	Merger		Zoning & General Plan Amendment

2. Name of Property Owner: Jim Price
Address: 620 Main St., P O Box 1374, Ferndale, CA 95536
3. Name of Applicant (if different): _____
Address: _____ Phone: _____
4. Property Location: 602 Main St., Ferndale, CA 95536
Assessor Parcel Number(s): 031-142-002-000
Description: _____
Lot Area: _____
5. Present Use of Property: Residence
Present Zoning: _____
6. Description of Proposed Project: Roof Replacement with CertainTeed Landmark
Cobblestone Gray dimensional shingles.
Original redwood gutters retained and restored

Filing Fee: A filing fee of \$_____ has been paid as part of the application. (Refer to Resolution 00-21 for fees and charges for review and processing of development permits.) I hereby certify that to the best of my knowledge the information in this application and all attached exhibits is full, complete and correct, and I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for denying the application, or suspending or revoking a permit issued on the basis of these of subsequent representations, or for the seeking of such other and further relief as may seem proper to the City.

Signature of Applicant or Agent _____ Date Sept. 14, 2019

Authorization of Agent: I hereby authorize _____ to act as my representative
and bind me in all matters concerning this application. (Form 121106)

FOR STAFF USE ONLY									
Full Ap Rec'd		Sent to Comm.		Returned		Ap notified		Project Final	





Meeting Date:	September 23, 2021			Agenda Item Number		5.c	
Agenda Item Title	857 Main Street						
Presented By:	Sonne Eldridge and/or Staff						
Type of Item:	x	Action		Discussion		Information	
Action Required:		No Action	x	Voice Vote		Roll Call Vote	

PROJECT DESCRIPTION: Request for a Design Review Use Permit to repaint the residence using the proposed color swatches, replace hazard stairs on front porch, and place wood shutters on windows at 857 Main Street (031-073-006).

RECOMMENDATION: Staff has included findings of fact (Attachment A) necessary to take an action on the Design Review Use Permit. If the Design Review Committee accepts the findings of fact or makes comparable findings, then staff recommends the Committee approve the Design Review Use Permit, subject to the conditions of approval listed in Attachment B.

RECOMMENDED MOTION: “Make the required findings of fact listed in Attachment A to approve the Design Review Use Permit, subject to the conditions of approval listed in Attachment B, to reroof the building using the approved application materials.”

ATTACHMENTS: Findings of Fact, Conditions of Approval, photos, and drawings.

**Attachment A
FINDINGS OF FACT**

The following findings of fact are required for approving the Design Review Use Permit.

1. The proposed design, materials, and colors are visually harmonious with and conceptually consistent in character and scale with surrounding area.
2. The existing project, as outlined and with conditions:
 - Conforms to and is consistent with the Ferndale General Plan;
 - Does not impair the natural beauty of the town's site and setting; and
 - Will not be unsightly, obnoxious or undesirable in appearance to the extent that it will hinder the harmonious development of the zone, impair the desirability of the zone for the uses permitted therein, or limit the opportunity to attain optimum use and value of the land and improvements or otherwise adversely affect the general property and welfare.

**Attachment B
CONDITIONS OF APPROVAL**

Staff recommends Design Review Use Permit approval be subject to the following conditions. The violation of any term or requirement of this conditional approval may result in the revocation of the permit.

1. The applicant shall be responsible to pay all applicable fees, deposits or charges associated with processing and finalizing the Design Review Use Permit, and/or otherwise owed to the City of Ferndale. All applicable or other required fees shall be paid to the satisfaction of the City of Ferndale before the Permit and uses allowed are considered final and approved.
2. All proposed work shall be in conformance with the approved permit application and with the information and analysis contained in the associated staff report and conditions of approval on file with the City. Should the work deviate from that as allowed by this approval, then the applicant may be required to first receive Design Review Committee approval for such changes.
3. Should the applicant or any other future owner of the subject property not conform to the requirements of these conditions, then said non-conformance shall constitute a violation of this Design Review Use Permit and shall become null and void until either all the issues have been addressed to the satisfaction of the City, or the permit is revoked.
4. All proposed and/or future development, improvements, and construction authorized hereunder shall be in conformance with all applicable City ordinances, regulations and codes, including but not limited to Zoning Ordinance 02-02, including the Design Review requirements, the Uniform Building Code, any Fire Codes and/or Public Health & Safety Code, applicable to the nature and type of proposed use and/or construction. A City building permit is required for any construction associated with the proposed project with the burden on the applicant to comply.

CITY OF FERNDALE
PLANNING DEPARTMENT

STANDARD APPLICATION FORM

Please provide the following information as it applies to your application. For questions, call 786-4224.

1. Type of Application

Date: 9-15-2021

☐	Bed & Breakfast Inn	☐	Minor Subdivision (4 parcels or less)
☐	Exception to Development Standards	☐	Second Dwelling Unit
☐	Historic District Design Review	☐	Street Vacate
☐	Home Occupation Permit	☐	Use Permit
☐	Lot Line Adjustment	☒	Use Permit – Design Review
☐	Merger	☐	Variance
☐	Major Subdivision (5 parcels or more)	☐	Zoning & General Plan Amendment

2. Name of Property Owner: Sonne Eldridge Phone: 707 382-5297
Address: 1009 Main St POBox 8713. Name of Applicant (if different): _____
Address: _____ Phone: _____4. Property Location: 857 Main Street

Accessor Parcel Number(s): _____

Description: 2 Story Single family Residence Circa 1927

Lot Area: _____

5. Present Use of Property: _____

Present Zoning: _____

6. Description of Proposed Project: Return exterior to original Gray, traditional with this style home. It was grey until 1953. Stair in front are heart safety hazard

Filing Fee: A filing fee of \$ _____ has been paid as part of the application. (Refer to Resolution 00-21 for fees and charges for review and processing of development permits.) I hereby certify that to the best of my knowledge the information in this application and all attached exhibits is full, complete and correct, and I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for denying the application, or suspending or revoking a permit issued on the basis of these of subsequent representations, or for the seeking of such other and further relief as may seem proper to the City.

Sonne Eldridge
Signature of Applicant or Agent

9-15-2021
Date

Authorization of Agent: I hereby authorize _____ to act as my representative and bind me in all matters concerning this application. (Form 100208)

FOR STAFF USE ONLY					
Full Ap Rec'd	Sent to DR	Returned	Ap notified	Project Final	



336G
Georgia Clay
Arcilla de Georgia

Front door

Shutter
color
black

Body

WH35
Winter White
Blanco Invernal

trim
Postice
columns
Door trim

410C
Body Horizon Grey

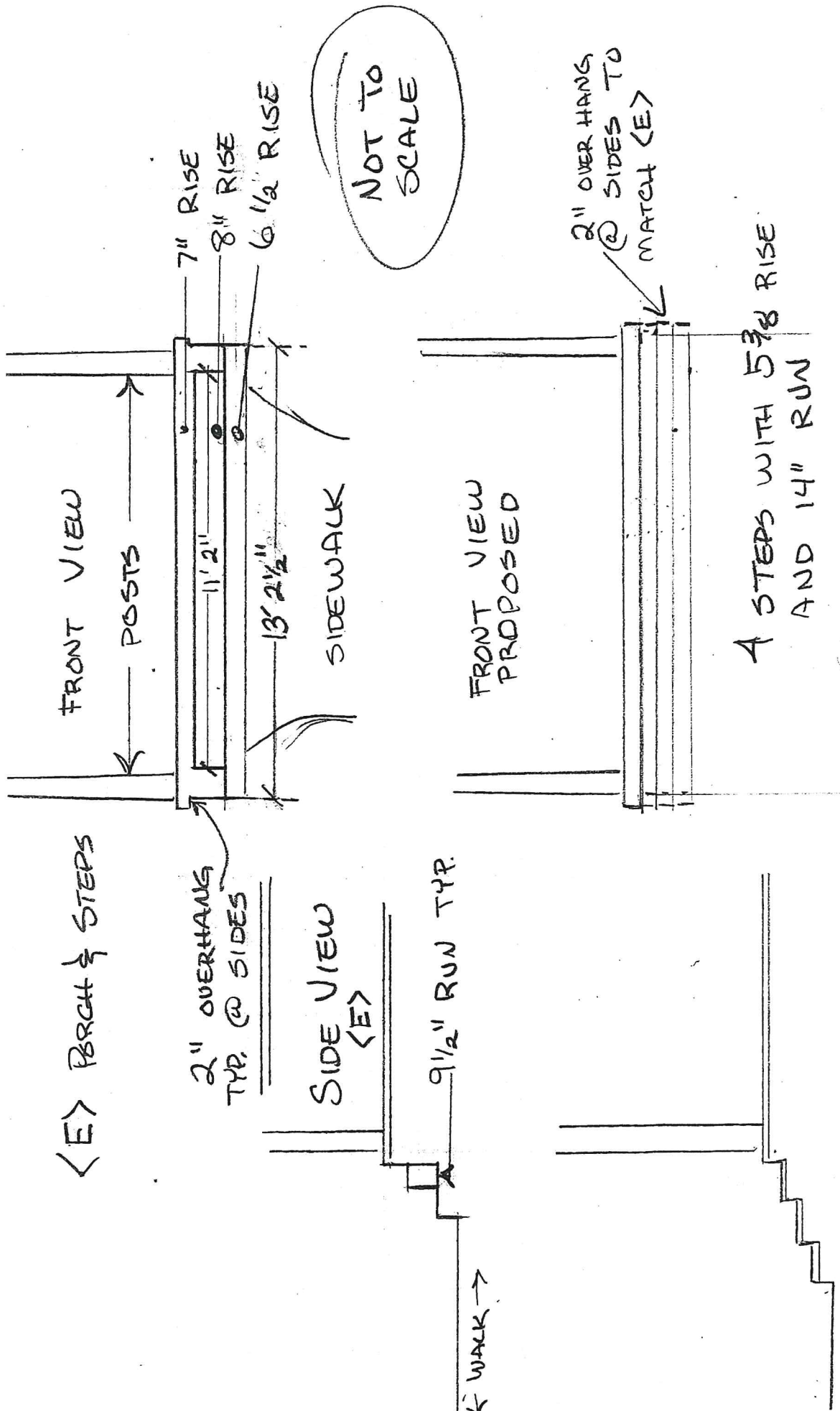
Horizon Grey
Horizon gris

Body
Horizon Grey
Horizon gris

Shutters
Black

Window trim
Railings above front
door trim
columns
Porches





<E> STEPS EXTEND ON TO WALK APPROX. 28"

PROPOSED STEPS WOULD EXTEND ON TO WALK APPROX 42"

SIDE VIEW PROPOSED

SANNE ELDRIDGE
857 MAIN

DRAFT 06/24/21 PROPOSED**Pre-Application Checklist****Design Review Committee****City of Ferndale, California**

=====

Introduction:

This checklist is provided to create uniformity in Design Review packet applications.

Please check off the numbered & lettered items and answer Y/N to the questions below. How you answer Y/N doesn't affect the acceptance of the application, but the numbered & lettered checklist items are needed prior to the application being sent to committee.

Some of this information is duplicated to the top of the actual packet. Application help is shown in italics. The word "modification" covers all forms of change to buildings.

Part One - Information about applicant and contractors

1A. ___ Name, address, phone, email/text for applicant/s and contractor/s.

Y_ N_ Applicants own the building.

Y_ N_ Applicant is primary contractor.

If either is no, please describe relationship and contact information for building owner.

Part Two - Information about the property covered by the application

2A. ___ Address of the property to be modified.

2B. ___ Approximate age of building/s included in the proposal.

** If the property is a qualifying building in the Historic District, see:*

https://en.wikipedia.org/wiki/Ferndale_Main_Street_Historic_District

** For all buildings on Main Street, see <http://ebeltz.net/fieldtrips/mainstreetwalk.html>*

** For other buildings, consult:*

*** Dennis Edeline Ferndale notes <http://usgwarchives.net/ca/humboldt/history.html>*

*** Ferndale Museum <https://ferndalemuseum.com/> or*

*** Humboldt Land Title <https://humboldttitle.com/>*

**DRAFT 06/24/21 PROPOSED
Pre-Application Checklist
Design Review Committee
City of Ferndale, California PAGE TWO**

=====

Y_ N_ Is the project in the Historic District?

Y_ N_ Is the project in the Design Review District?

Y_ N_ Are any of the proposed modifications visible from the streets or any other public view point?

2C.____ If any modifications are visible, please specify or highlight both the viewpoint and the visible modifications.

Part Three: Building - location, plans and dimensions

3A.____ Plan location of building/s - showing situation of entire building/s as well as dimensions in English or Metric measures.

* This can be done in many ways. One way is to draw the proposed changes and dimensions on top of a street map or satellite view of the property obtained online.

3B.____ Plan location of each modification.

** This can be arrows or markings on the prior plan location or a separate page/s.*

3C.____ Plan elevations showing flat side faces of areas being modified as well as dimensions in English or Metric measures for each modification.

** Elevations show buildings face by face. One way to do this is to take a photo of the area to be changed and with arrows or descriptions indicate the nature and dimensions (sizes) of the changes. Important for things like windows and doors are not only the size of the object, but how far from corners, base or roof - with dimension.*

Y_ N_ Did you include dimensions for all proposed changes?

Y_ N_ Did you draw the plans?

Y_ N_ Were the plans drawn by a draftsman, planner or architect?

If yes, please provide name, address, phone number, email/text for contact.

** Usually professionals who draw plans include their name on each page of the plans, which would just be checking the "Yes" here.*

**DRAFT 06/24/21 PROPOSED
Pre-Application Checklist
Design Review Committee
City of Ferndale, California PAGE THREE**

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Part Four: Building - Materials

4A__ Please list materials to be used during proposed modification. Use as many pages as you need to adequately describe materials for the project.

**Whenever possible, provide print outs of actual material specification pages, or pages where the items to be used are sold which include specifications and descriptions - especially for manufactured products.*

**Please note, Hardiplank and other asbestos/manufactured shingling and siding is not able to be approved for visible locations in Design Review areas. "Manufactured wood" is not the same thing as actual wood; the former cannot be approved. Vinyl windows are not able to be approved for visible locations.*

*** Note to others:

*** Are there other materials and products we are not able to approve?? ***

Y_N_ Does the project include painting?

4B__ Please submit color chips for all paint colors to be used on the project.

Part Five: Project - Estimated time of start and finish

5A__ Please describe the preferred estimated time of start and finish for the project.

**Delays happen. This question is merely to inform the committee of the intended start and finish. Projects which remain open for more than six months may require second approval or agreement with the City.*

Thank you for taking the time and effort to provide materials needed for the committee!

CORRESPONDENCE

COMMITTEE COMMENTS

ADJOURN